


KEEPING TRADITION ALIVE in the MERRICK NEIGHBORHOOD

Revitalization Plan and Recommended Zoning Code

FINAL REPORT: June 30, 2012

Prepared for:

The Town of West Springfield, Massachusetts

Prepared by:

Dodson & Flinker, Inc.
Howard/Stein-Hudson Associates

This plan was funded by the
Tornado Recovery Planning Assistance program of the
Massachusetts Department of Housing and Community Development

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EXECUTIVE SUMMARY

West Springfield's Merrick Neighborhood developed around the railroad in the late 19th Century, and has always had a vibrant mix of homes, shops, churches, businesses, and industry. Like most places established before the automobile, it is a very walkable neighborhood, with buildings close together, sidewalks shaded by tall trees, and most of life's necessities close at hand. The tranquility of the area was shattered, however, by the tornado that struck in June, 2011. The devastation left in its wake created an opportunity to look at how best to rebuild and revitalize the community for the 21st Century. Supported by a Tornado Recovery Planning Assistance grant from the Massachusetts Department of Housing and Community Development, the Town of West Springfield and the Pioneer Valley Planning Commission retained consultants Dodson & Flinker and Howard/Stein-Hudson Associates to develop a concept plan and zoning changes designed to foster redevelopment of the neighborhood.

Through an extensive public engagement process, the team learned that residents and business owners love the area, and want to preserve the traditional mix of uses and intensity of development. But they identified challenges as well, including truck and automobile traffic, abandoned industrial buildings, and the impact of the nearby CSX rail yard. One particular challenge is that zoning adopted in 1963 makes it illegal to rebuild most existing homes and businesses in the traditional pattern – forcing owners to tear down existing structures in order to create conforming building lots, or to pave the front yard to provide enough parking.

There is a better solution. By changing current zoning, growth and revitalization can continue while still protecting the elements that people love about the neighborhood. This is illustrated by a Conceptual Plan, which shows how the area could continue to grow, with a combination of careful infill development in historic areas along Main Street and nearby residential blocks, and more extensive redevelopment of former industrial parcels along Union Street. The redevelopment process would be controlled and guided by new zoning for the area, which would create three new zones: a *neighborhood residential zone* for most of the side streets; *a neighborhood business zone* for areas along Main and Union Street that already have a mix of uses; and a *mixed-use redevelopment and employment zone* for the West side of Union Street. Finally, there would be a *natural and civic zone* for parks and other community spaces.

Each of these new zones would be governed by regulations that would specify all the details of where new buildings could go, what they would look like, and how to lay out parking lots, sidewalks and other elements. The new code differs from traditional zoning in that it focuses on creating a unified design that includes buildings, streets, parking areas, sidewalks and other elements, with specific standards for each area. That way, every new building or redevelopment project reinforces the historic character and livability that people love about the neighborhood.

This report concludes the first phase in an ongoing process. The Pioneer Valley Planning Commission will incorporate the results into a transportation planning project for the Merrick-Memorial Neighborhoods. Meanwhile the West Springfield Planning Department will move forward with review and revision of the proposed Merrick District Zoning Code in preparation for further discussion with the Planning Board and City Council.

ACKNOWLEDGMENTS

Advisory Group

Mayor Gregory Neffinger
Frank Palange
Mary Paier-Powers
Edward Sullivan
Diane Crowell
Doug Mattoon
Richard Werbiskis
Joseph Laplante
Catherine Ratte
Jessica Allan
Gary Roux
David Elvin
Peter Flinker
Ted Brovitz

Working Group

Mayor Gregory Neffinger
Paul Boudo
Angus Rushlow
George R. Kelly
Frank Palange
Mary Paier-Powers
Edward Sullivan
Joe Curran
Gareth D. Flanary
Emil Farjo
Sgt.Lawrence Larrabee
Jeff Tomaino
Doug Mattoon
Richard Werbiskis
Tara Gehring
Joseph Laplante
Catherine Ratte
Gary Roux
David Elvin
Peter Flinker
Ted Brovitz
Kate Tooke
Diane Crowell
Kate Blanchard
Ed Parent
Diane Forfa
Bill Forfa
Skip Demerski
Ned Hubbard
Rick Hoey
Kathy Nekitopoulos
Bill Porfilio Sr

Project funding: Tornado Recovery Planning Assistance program of the Massachusetts Department of Housing and Community Development

Project consultants:

Dodson & Flinker, Inc.
463 Main Street
Ashfield, MA 01330

Howard/Stein-Hudson Associates, Inc.
38 Chauncy Street, 9th Floor
Boston, MA 02111

1.0 INTRODUCTION AND OVERVIEW

1.1 Project Context

The historic Merrick District has long been a diverse and mixed income neighborhood with traditional development patterns, attractive streets and working class residents. Supported by neighborhood scale businesses and the adjacent industrial core centered on the CSX rail yard, the neighborhood has been affected for decades by the changing trends of the regional economy. In June, 2011, the area was struck by a tornado, posing a series of new challenges for those who live and work in the neighborhood. The Town of West Springfield has responded in many ways to restore the neighborhood including the opportunity to address related long term planning and zoning issues that have hampered rehabilitation and infill development.

Dodson Associates and Howard/Stein-Hudson were retained as a consulting team to assist the Town and Pioneer Valley Planning Commission (PVPC) in evaluating existing development patterns and preparing zoning changes identified in the recent Town Master Plan to encourage mixed use development, vibrant civic spaces, and "Complete Streets" to enhance and reinforce the compact, walkable, moderate scale mixed uses in the neighborhood. The initial evaluation involved a comparison of existing dimensional and contextual characteristics of buildings, street, and open spaces in the neighborhood in comparison to current zoning and infrastructure development standards. This exercise helped town officials and residents understand the voids between current regulations and the desirable characteristics of the neighborhood. In preparing new context-sensitive zoning code, a major focus is broad-based public participation with landowners, businesses, homeowners and tenants, as well as underserved populations represented by community groups, clubs, service organizations, and social service providers.

1.2 Public Engagement Process

The project was directed by an Advisory Group made up of Town staff, elected officials, and representatives of the Pioneer Valley Planning Commission. In order to fully involve the Merrick neighborhood in the planning and design process, however, the work of the consultants was assisted and overseen by a Working Group made up of members of the Merrick community. These included neighborhood residents, business owners, non-profit groups, public safety personnel, town councilors, and others. The Working Group met four times over the course of the project, with each meeting including a combination of presentations by the consulting team followed by group discussion and workshop exercises designed to get input from community participants. The agendas for each meeting followed the progress of the project:

Working Group Meeting #1 – March 12, 2012

- Introduction to project goals and objectives.
- Presentation of neighborhood history, research and analysis maps.
- Introduction to form-based codes and its potential application to the Merrick Neighborhood.

- Group discussion/brainstorming to identify Challenges and Opportunities in the neighborhood.

Working Group Meeting #2 – April 9, 2012

- Update of neighborhood history, research and analysis maps.
- Presentation and update of challenges and opportunities identified at the first meeting.
- Presentation of case studies from similar communities.
- Small-group exercise on neighborhood growth/preservation scenarios.
- Group presentations

Working Group Meeting #3 – May 14, 2012

- Presentation of final history, research and analysis maps.
- Presentation of draft concept plan.
- Presentation of draft zoning approach.
- Group discussion and feedback.

Working Group Meeting #4 – June 19, 2012

- Overview of process, research and analysis.
- Presentation of the Concept Plan.
- Overview of Regulating plan/ Zoning Map, Regulatory Matrix, Zoning Districts and Frontage Zones.
- Questions and group discussion.

The annotated maps found on the following pages illustrate the process of research, mapping, analysis and community feedback that proceeded as the Working Group meetings unfolded.

1.3 Reflections and Directions

The Merrick District Concept Plan and context-based zoning builds on the general settlement patterns, building forms, and streetscapes of this traditional New England neighborhood. Merrick includes a rich history of diverse ethnicity and a broad mix of uses including residential, commercial, civic and industrial uses in a compact, pedestrian-oriented development pattern.

The neighborhood was built on the principles of creating a vibrant community with strong relationships between buildings and the public realm (streets and civic spaces). It has always been a walkable district providing safe and convenient opportunities for residents living, working, shopping, gathering, recreating, learning, and praying. It has also been a welcoming place for people of different income, age, economic circumstances, and ethnic backgrounds.

The general goals of the recommended concept plan and context-based zoning approach are as follows:

- A strong relationship between neighborhood building types and uses, walkable streets, and civic spaces.

- Street and Streetscape design standards that ensure a safe and attractive pedestrian environment through the appropriate placement (and replacement) of street trees and other selected street furnishings.
- Building types based on well-established precedents in the neighborhood and enhanced with complimentary local and regional building styles.
- Provisions for civic and public spaces with active uses that are connected to other open space amenities such as parks and playgrounds.
- A mix of appropriate and neighborhood scaled uses including residential, retail, dining, entertainment, institutional, office, and light industrial.
- Provide for open space and pathways that can be connected to local and regional systems encouraging healthier and extended transportation opportunities for neighborhood residents and workers.

1.4 The Merrick District Concept Plan

The Merrick District Concept Plan (page 9) illustrates a vision for how future development could play out in the neighborhood. Developed with extensive local review through the Working Group meeting process, it reflects the input of neighborhood residents, business owners and town officials, and is designed to balance the need to support business opportunities with the desire to protect and enhance the existing character of the neighborhood. To achieve this balance the concept plan illustrates a variety of approaches tailored to specific conditions in different areas of the neighborhood. The result is three distinct approaches to revitalization:

1. Neighborhood Residential: in the core of the neighborhood, the plan envisions preservation of historic structures and modest infill development, with a focus on continued residential use.
2. Neighborhood Business: along Main Street and Union Street, the plan recommends redevelopment of existing commercial buildings and infill with new buildings designed that continue the existing historic pattern of buildings close to the sidewalk with parking to the rear.
3. Mixed-Use Redevelopment and Employment Center: along the west side of Union Street, the plan foresees redevelopment of former industrial sites such as the 380 Union property for a mix of commercial, residential and light industrial uses.

In addition, the plan identifies several areas that are set aside as permanent open space. These include existing parks, the cemetery, and several potential parks and civic gathering spaces. It also includes areas that might be further developed to provide access to the Connecticut River and other natural areas.

The detailed recommendations of the concept plan are illustrated on the following pages. Keep in mind that the plan represents only one way that this shared vision for the Merrick Neighborhood could play out – the actual outcome may follow this overall structure, but may be very different in its details,

representing the decisions of many different landowners and businesses over the course of the coming decades. What the plan is really designed to do is to illustrate a vision for how local residents, businesses and landowners could work together to revitalize the Merrick neighborhood, and the possibilities for growth and revitalization that are possible with shared action.

The concept plan was instrumental in helping the Working Group identify the key planning goals and design principles that will guide future redevelopment efforts. As described in the following section, these principles have been incorporated in the proposed Regulating Plan/ Zoning Map and accompanying use and dimensional standards. These will form the basis for changes to West Springfield's zoning ordinance, and will represent the basic rules that developers will follow in laying out each future project.

(See Page 9-13 for Concept Plan Illustrations)

1.5 Organization and Purpose of the Merrick District Zoning Recommendations

The proposed Merrick District Code (the "code" or MDC) is a "**Form-Based Code**" (FBC) which is a type of zoning regulation that focuses on the context and spatial patterns of development and the surrounding environment. For example, FBC addresses the context and relationship between buildings and the public realm (such as streets, open spaces, and civic buildings and places), the form and mass of buildings in relationship to one another, and the scale and type of streets and blocks. The regulations in form-based codes are presented in both written and diagrammatical formats, and keyed to a **Regulating Plan** that designates the appropriate form, scale and placement of development, streets, parking, access screening and civic spaces.

The Merrick District Code is a departure from the current conventional zoning. While conventional zoning relies upon use designations as the primary determinant of site development and general dimensional standards, the MDC emphasizes and prescribes the form of the buildings in context with surrounding neighborhood, their location on the development site in relationship to surrounding buildings, public streets and civic spaces.

The exact applicability of the Merrick District Code will be determined in subsequent stages of the Merrick Neighborhood Planning Project. Specifically, the regulations outlined below will be incorporated in and made part of the West Springfield Zoning Ordinance and Official Zoning Map either as a stand-alone form-based code or as a hybrid code. As a stand-alone form-based code, the regulations would be contained in a separate section of the Zoning Ordinance and apply strictly to the Merrick District. As a hybrid form-based code, the regulations would be integrated into the individual Sections of the West Springfield Zoning Ordinance and could be applied over time to other zoning districts in Town. For the purposes of this report, the recommended Merrick District Code is presented as a stand-alone form-based code and contains the following provisions:

- Part 1: Purpose, Applicability, and Administration – Establishes the authority and general provisions of the Code.

- Part 2: The Regulating Plan – Serves as a replacement for the Official Zoning Map, locating where and what types of development are permitted.
- Part 3: Use – Lists the by-right, non-permitted, special permit, and accessory uses allowed on the site.
- Part 4: Building and Lot Type Standards – Provides building requirements such as build-to standards, massing, height, and articulation as well as building elements and permitted encroachments.
- Part 5: Street Design, Access, Connectivity and Parking Standards – Explains movement of vehicles, pedestrians and bicyclists with through a hierarchy of street types and supplemented by block dimensions, connectivity, access and parking standards appropriate for the scale of the neighborhood.
- Part 6: Landscaping, Screening and Lighting Standards – Explains appropriate landscaping, screening, fencing, lighting and storage standards for the neighborhood.
- Part 7: Public Space Standards - Lists the requirements for providing private and publicly accessible open space in the Merrick District, including aggregate area requirements and types of open space.
- Part 8: Definitions – Lists the terminology used throughout the Code and their definitions.

In addition to the Merrick District Code, a Regulating Plan has been created to replace the West Springfield Official Zoning Map as it pertains to the current zoning districts contained within the project area. The Regulating Plan translates the project area concept plan into context-based regulations pertaining to dimensional and design standards for all lots, streets, and public spaces in the Merrick District. The Regulating Plan also uses a Transect Model to determine appropriate regulations for locations within the plan based on development intensity, scale and intended uses.

1.6 Next Steps

This report represents the conclusion of the contracted work undertaken by Dodson & Flinker and Howard/Stein-Hudson. The Pioneer Valley Planning Commission will incorporate the results into an ongoing transportation planning project for the Merrick-Memorial Neighborhoods. Meanwhile the West Springfield Planning Department will move forward with review and revision of the proposed Merrick District Zoning Code in preparation for further discussion with the Planning Board and City Council.

Merrick District Concept Plan

This concept plan for the Merrick Neighborhood illustrates how the area might grow and change over the coming years, based on the ideas and suggestions raised during the public workshops.

Neighborhood Residential: Much of the neighborhood, especially the historic residential streets between Union and Main, would remain residential. While some infill development would be allowed, the primary focus would be on renovating historic homes and preserving walkable, tree-lined streets.

Mixed-use Redevelopment and Employment Center: On the 380 Union parcel and other areas West of Union Street, former industrial sites would be redeveloped as a mixed-use employment center. Buildings would line up along a grid of new streets, with parking hidden behind. A central park would provide a visual focus and center of activity for the new neighborhood.

Neighborhood Business: Along both Union and Main Streets, landowners would be encouraged to continue the pattern of historic commercial structures in the neighborhood. These have buildings close to the sidewalk, with shops on the ground floor and apartments or office space above. On-street parking would continue, with rear parking lots expanded and connected across lot lines to improve circulation.

LEGEND

Potential Future Buildings

Existing Buildings

Mixed-Use Redevelopment & Employment Area

Existing Businesses, such as Charlie's Diner and the Tea & Crepe House will benefit from redevelopment of the surrounding neighborhood.

Boundary of 380 Union Parcel: the former industrial site will require extensive remediation in preparation for redevelopment, but represents a significant opportunity to revitalize the neighborhood.

Central park: a large public park provides a visual focus for surrounding streets and buildings, as well as room for ball fields, playgrounds and other recreational uses.

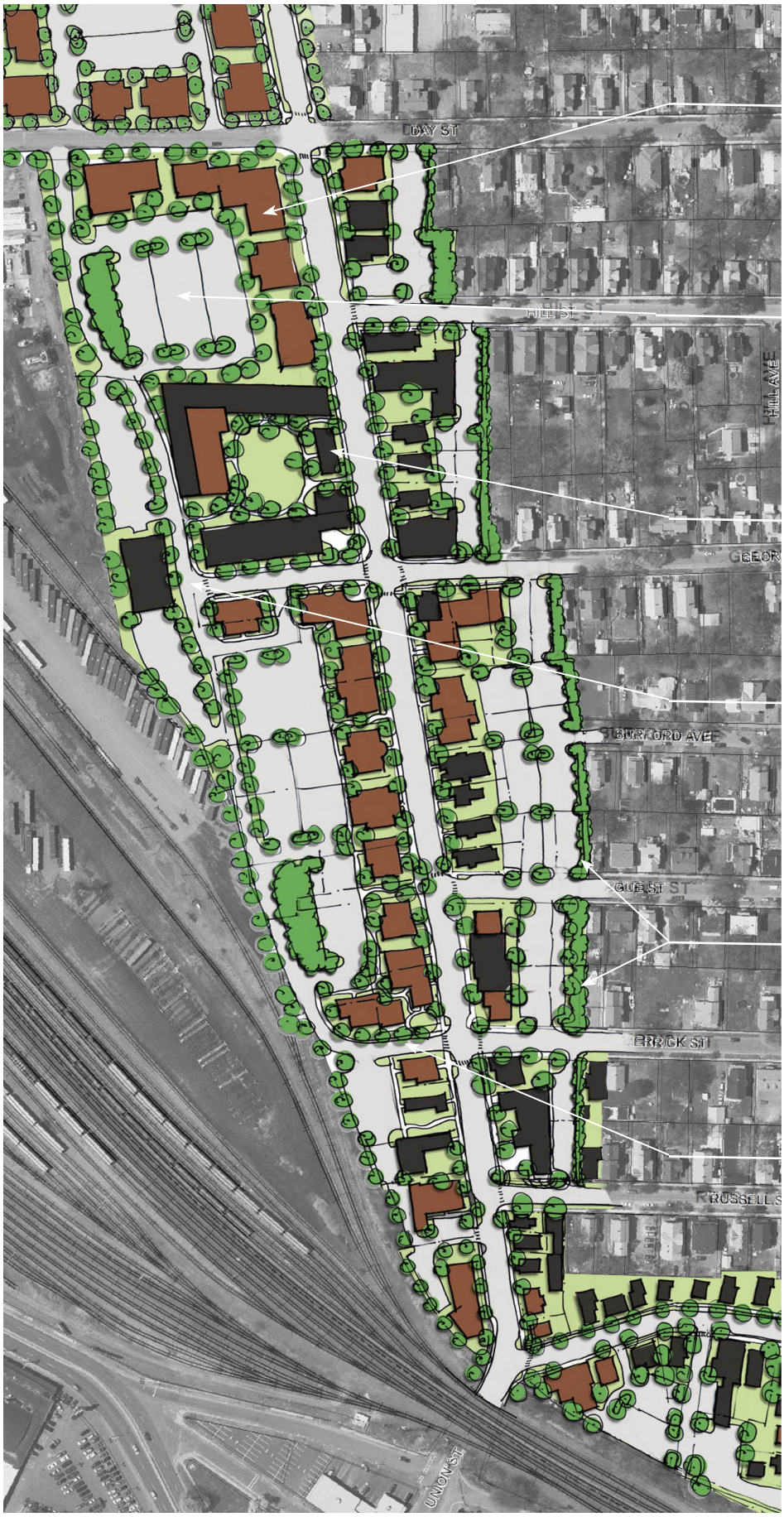
New Streets continue the traditional grid of streets through the neighborhood. A grid system provides for efficient access while requiring less pavement than dead-end streets. Streets would have parking on one-side to serve short-term parking needs; truck routes would have no on-street parking.

New Buildings continue the general scale and proportions of existing West Springfield structures. Most are close to the sidewalk, but upper stories step back to admit light and air. Residential uses would be limited to areas within 300 feet of Union Street to limit conflicts with adjoining industrial uses.

Interior Courtyards provide private outdoor gathering spaces for workers and residents in adjoining buildings. Pedestrian paths connect to parking lots, building entrances and neighboring streets.

Shared parking lots provide for efficient parking with minimal visibility from public streets. Broad landscape islands help absorb stormwater runoff and allow trees to grow large enough for significant shade.

Lower Union Street



New Buildings would be brought to the front of parcels along Union, Day and other streets. Removal of unnecessary driveways allows more of the street edge to be attractively landscaped.,

Shared Rear Parking Lots balance the need for parking over the course of the day, week and year, while providing for the most efficient use of space. The area that is saved can be landscaped to provide shade, stormwater treatment, and buffers to industrial uses.

Existing Buildings: Buildings which are historic or otherwise worth saving are integrated into the design of the neighborhood. Additions provide for expanded use.

A continuous street would connect across the rear of parcels west of Union Street to ease circulation of cars and trucks. A landscaped berm and/ or sound fence could be constructed along the rail yard boundary to help buffer noise and dust.

Residential Buffer: Where parking lots back up on residential parcels, strips are reserved to provide for a buffer zone. Depending on the available width these could be treated with a combination of trees and shrubs, raised berms and/or solid fences.

New Streets are provided to create shared access to rear parking areas. Limited in number in order to reduce turning movements on Union Street, new streets are placed to in areas that make a logical crossing to existing streets East of Union.

LEGEND

Potential Future Buildings

Existing Buildings

Upper Main Street

Existing homes would remain in residential use. Modest redevelopment, expansion and infill would be allowed, depending on the size of the parcel.

Commercial blocks would be allowed to fill in with mixed-use structures. Buildings would follow the existing pattern of structures close to a wide sidewalk, with access from both the street side and rear parking/service areas.

On-Street Parking would continue on both sides of Main Street, but would be improved with better markings to keep people from parking too close to corners and cross-walks. As appropriate, curb extensions or "bump-outs" would narrow the street at intersections, calming traffic and helping pedestrians cross the street safely.

Shared Rear Parking Lots would be located in the rear of structures and connected across lot lines to link from one side street to the next. Landscaped buffers separate parking areas from adjoining residental lots.

Streetscape Improvements: new trees, pedestrian-scale lighting, benches, decorative pavement and other improvements improve the appearance of the street and enhance pedestrian comfort.

Lower Main Street

Existing Commercial Blocks are enhanced by expanding parking areas and connecting across lot lines to improve circulation. Landscape buffers help to reduce impacts on adjoining residential areas.

Unified approach to School Street/ Willard Ave: this dense neighborhood of smaller homes mixed with businesses could be enhanced by linking parking lots and reducing driveways onto the street. Modest infill development would be based on the context of each lot.

Streetscape Improvements: the existing pattern of sidewalks and parking on both sides of Main Street would be enhanced with new street trees, lighting and decorative paving. Improved markings for parking spaces could be enhanced with curb extensions at street corners and textured cross-walks.

New buildings replace automobile-dominated uses with more traditional mixed-use structures. Rezoning of the Bridge street neighborhood allows for continued residential use and encourages redevelopment.

Southern Gateway: continuing the traditional Main Street pattern down to Memorial Ave creates a gateway to mark the entrance to the neighborhood. New Buildings, elimination of unnecessary pavement and streetscape improvements provide for comfortable pedestrian corridor to encourage walking.


ELM ST
PARK AVE
PARK ST
RIVERDALE ST
NORTH END BRIDGE
KELSO AVE
SYLVAN ST
WESTERN AVE
PROGRESS AVE
PHELON ST
PARK CT
MAIN ST
BLISS ST
WORCESTER ST
FAIRVIEW AVE
IRVING ST
CHURCH ST
SPRING ST
JAMES AVE
DAY ST
COTTAGE ST
HILL ST
HILL AVE
MOSELEY AVE
GEORGE ST
LOWELL AVE
LOWELL ST
WINDSOR ST
BURFORD AVE
UNION ST
SPRAGUE ST
COLTON AVE
MERRICK ST
ALLEN ST
RUSSELL ST
BELLE AVE
BRAMBLE AVE
DIKE AVE
W SCHOOL ST
E SCHOOL ST
CHAPIN ST
NEW BRIDGE ST
COOK ST
GLOBE ST
BARNARD ST
MULBERRY ST
BRIDGE ST
CIRCUIT AVE
PEARSON WAY
UNION ST EXT
CENTURY WAY
MEMORIAL AVE
L ST
Prepared by Dodson & Flinker
May 8th, 2012
Scale: 1" = 700'
0
175
350
700
Feet
N

Existing Conditions

Legend

- Trees
- Removed Trees (Tornado)
- Railroad
- Fences & Walls
- Hedges
- Pavement Edges
- Contours - 5' Intervals
- Parcels
- Buildings
- Roadway
- ParkingLots
- SwimmingPools
- Water

Merrick is a dense residential neighborhood bounded by Park Street and the West Springfield Town Common to the north, Route 5 and the Connecticut River to the east, Memorial Avenue to the south and the railroad tracks and CSX railyard to the west. Residential streets primarily run east to west with two mixed-use streets - Main and Union - running the length of the neighborhood north to south. The neighborhood is walkable and pedestrian-scale, with many old street trees and ample sidewalks.

Main Street in front of Star Pizza & Barber Shop

Union Street at Corner of Irving Street

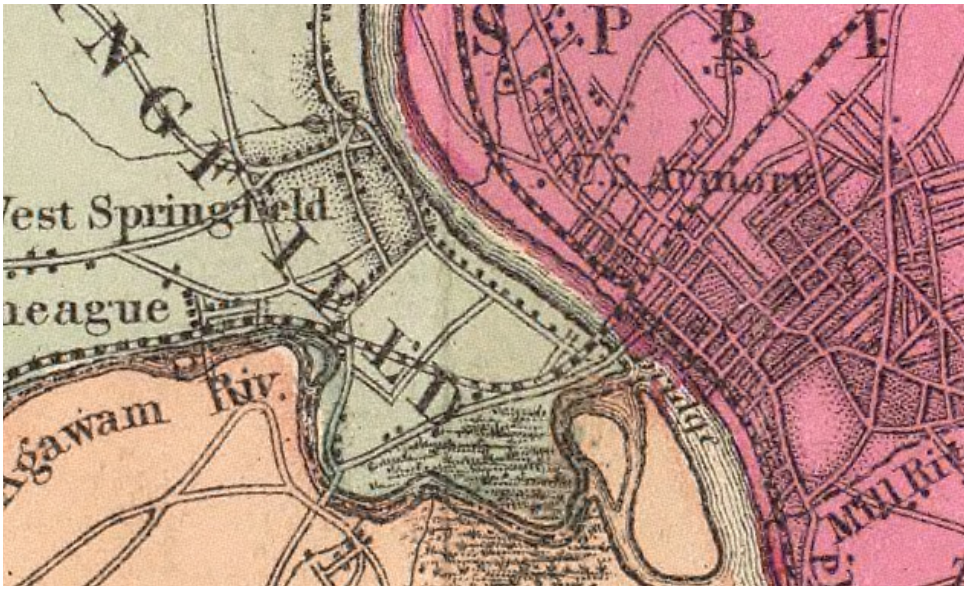
Union Street from corner of Day Street

Main Street between Hill and Day Streets

Church Street form corner of Union Street

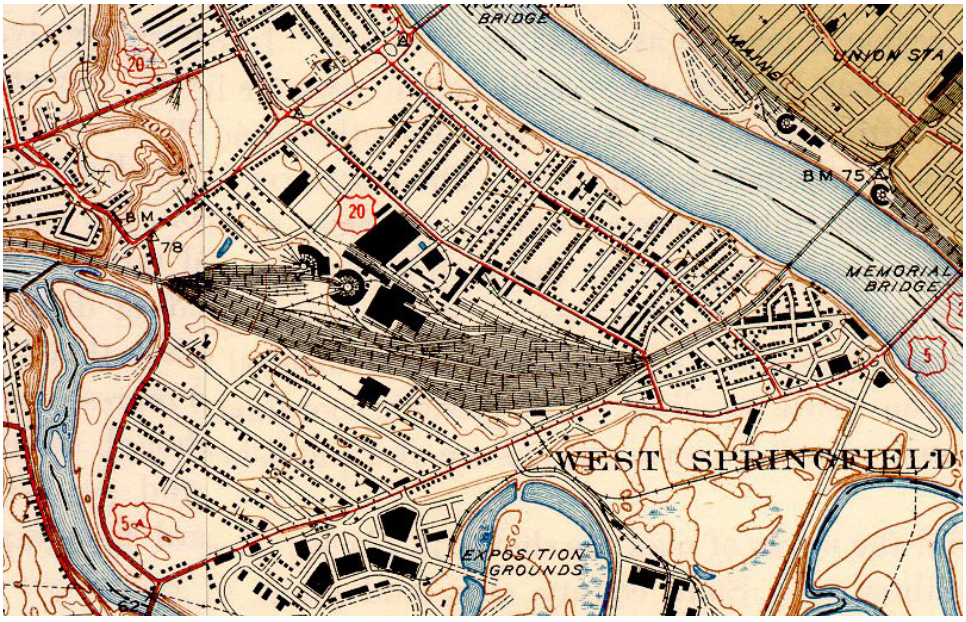
1831

By 1831 Main Street, Bridge Street and Church Street were already in place in the Merrick-Memorial neighborhoods. In addition significant settlement had occurred along Broadway (present-day Park Avenue and the town common) and Elm Street. The covered wooden bridge to Springfield at Bridge street was at this time the only access across the river. The light settlement patterns are characteristic of a farming community where each settler in town owned adjacent or outlying parcels to cultivate.



1871

This excerpt from an 1871 Massachusetts state atlas show the Boston & Albany Railroad tracks that arrived in 1839. Aside from the addition of the tracks, the Merrick-Memorial neighborhood appears largely unaltered from 1831 - Main, Bridge and Church Streets are still the defining features of the area and settlement is light.



1938

By 1938 the settlement pattern of the present-day Merrick-Memorial neighborhood had been established. The single railroad track visible in 1871 expanded to an entire rail yard in the late 1800s and Merrick developed as housing and infrastructure for the rail workers. The land adjacent to the rail yard became valuable for manufacturing - this map shows the collosal Gilbarco gas pump factory building built in 1912 along Union street as well as roundhouses for servicing train engines.

Neighborhood History

Although settlers first moved to the western side of the Connecticut River from Springfield in 1654, West Springfield did not incorporate as its own town until 1696. Throughout its first two centuries West Springfield was primarily a farming community that thrived on rich floodplain soil, and the present-day Merrick neighborhood was particularly well-known for its orchards and pastures. The Boston & Albany Railroad first arrived in West Springfield in 1839, cutting across the Connecticut River at Bridge Street and arcing around to the Southwest of the present-day Merrick neighborhood. In the late 1800s the single railroad track expanded into a large and busy railyard, catalyzing a transition in Merrick from farming outpost to bustling industrial community. Residential streets blossomed rapidly to accommodate railyard workers and Main street transitioned into a commercial center. At the same time, the rise of the rail yard made land adjacent to the tracks valuable for manufacturing, and large industrial complexes sprouted up along Union Street. The largest of these factories, gasoline pump manufacturer Gilbarco Inc, arrived in 1912 and was a major employer in West Springfield until its close in 1965. Currently CSX operates the railyard as an intermodal freight yard and the old factory buildings house light manufacturing enterprises.

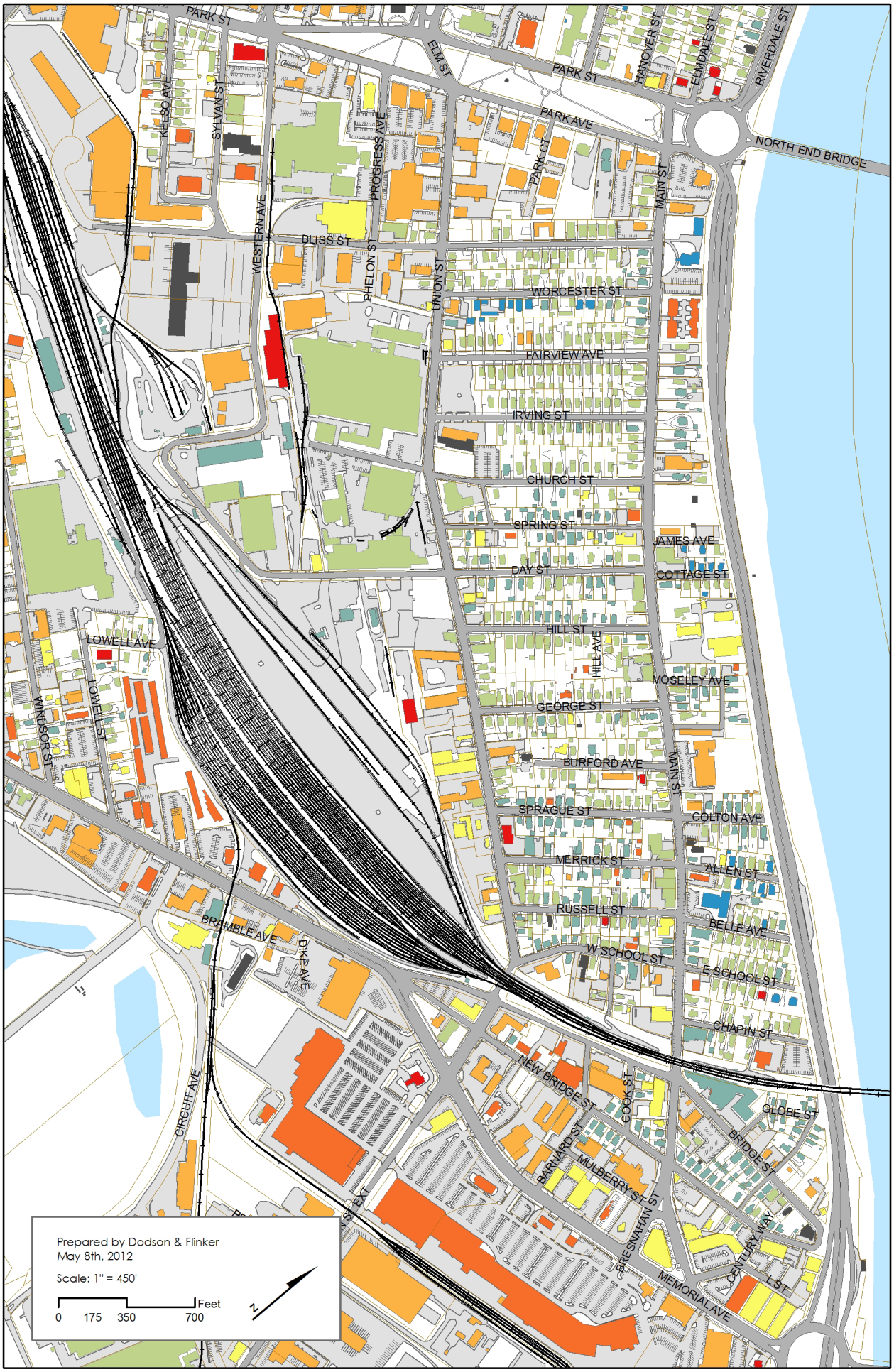
(Left and Above) Merrick Main Street in Late 1800s

Images Courtesy of the West Springfield Historical Society

(Above) Union Street Looking North from the RR Underpass - 1927 Flood

(Left) Union Street Looking South towards the RR Underpass - 1927 Flood

Images Courtesy of the West Springfield Historical Society


PARK ST
ELM ST
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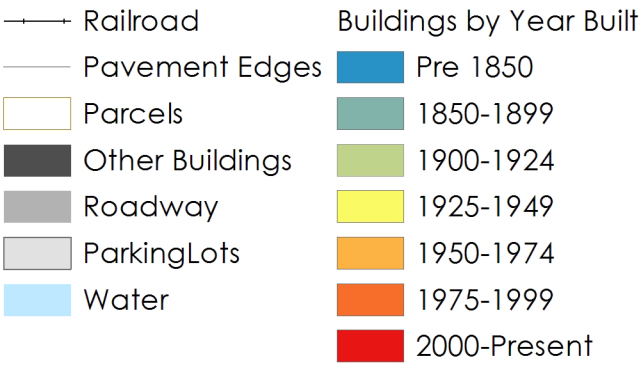
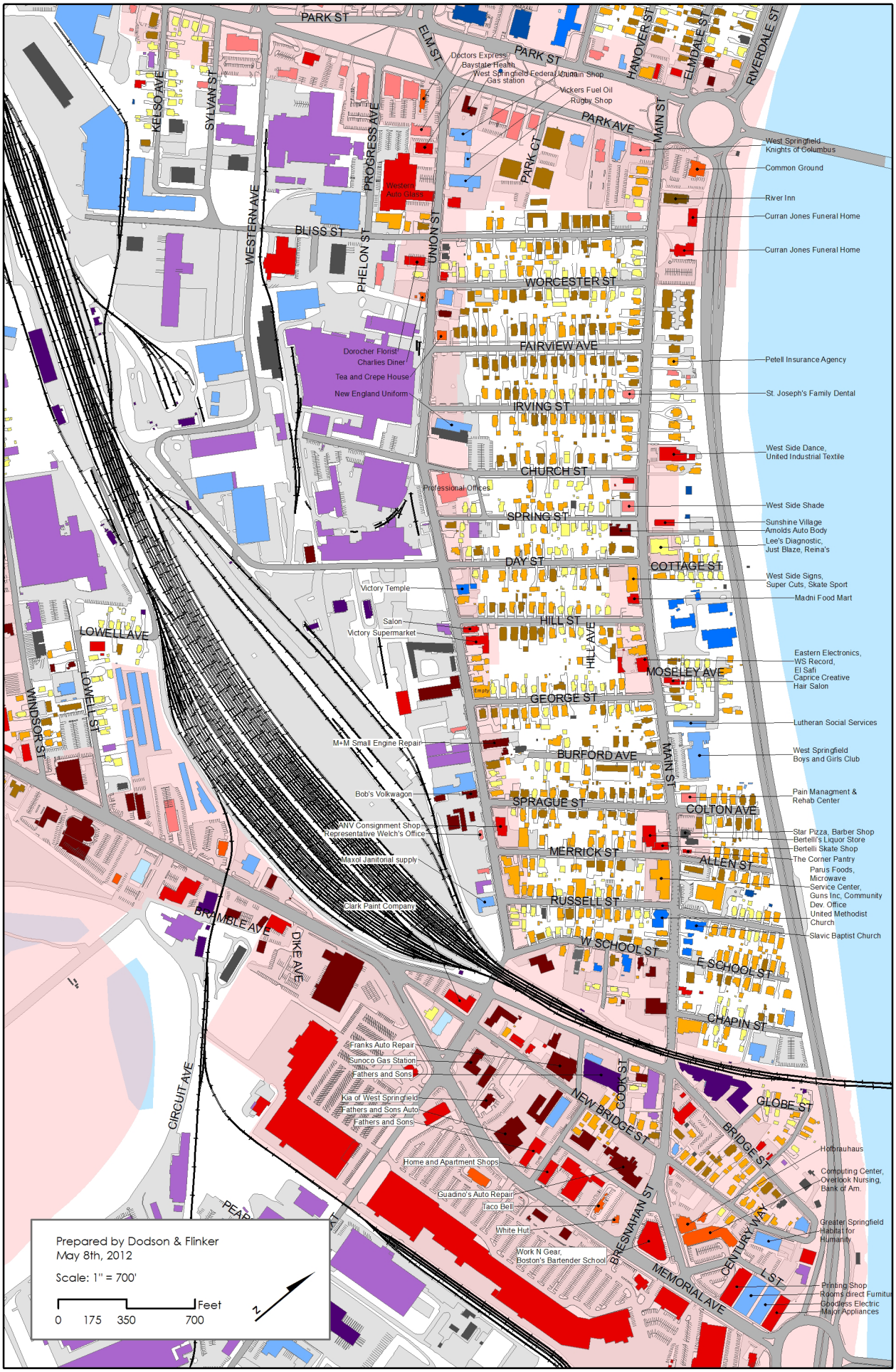
HANOVER ST
ELMDALE ST
RIVERDALE ST
PARK AVE
NORTH END BRIDGE
KELSO AVE
SYLVAN ST
PROGRESS AVE
PARK CT
MAIN ST
WESTERN AVE
BLISS ST
PHELON ST
UNION ST
WORCESTER ST
FAIRVIEW AVE
IRVING ST
CHURCH ST
SPRING ST
JAMES AVE
DAY ST
COTTAGE ST
HILL ST
HILL AVE
LOWELL AVE
MOSELEY AVE
WINDSOR ST
LOWELL ST
GEORGE ST
BURFORD AVE
MAIN ST
SPRAGUE ST
COLTON AVE
MERRICK ST
ALLEN ST
RUSSELL ST
BELLE AVE
BRAMBLE AVE
DIKE AVE
W SCHOOL ST
E SCHOOL ST
CHAPIN ST
NEW BRIDGE ST
COOK ST
GLOBE ST
CIRCUIT AVE
BARNARD ST
BRIDGE ST
MULBERRY ST ST
GRESNAHAN
CENTURY WAY
MEMORIAL AVE
LST
Prepared by Dodson & Flinker
May 8th, 2012
Scale: 1" = 450'
Feet
0
175
350
700
N

Buildings by Year Built

Legend



The vast majority of the housing stock in Merrick was built in the early 1900s, although there are a few pockets of surviving houses around Worcester, Day and Sprague Streets that date from the mid to late 1800s. Housing development occurred concurrently with the rise of the rail-yard in the late 1800s and the arrival of the Gilbarco gas pump manufacturing company in 1912. Very little development has occurred in the neighborhood core since 1950, but areas south of Memorial Avenue and along Park Street were heavily developed in the latter half of the 20th Century.


PARK ST
ELM ST
PARK ST
HANOVER ST
ELMDALE ST
RIVERDALE ST
Doctors Express
Baystate Health
West Springfield Federal Union
Gas station
Chain Shop
Vickers Fuel Oil
Rugby Shop
PARK AVE
MAIN ST
KELSO AVE
SYLVAN ST
PROGRESS AVE
PARK CT
West Springfield Knights of Columbus
Common Ground
River Inn
Curran Jones Funeral Home
Curran Jones Funeral Home
Western Auto Glass
WESTERN AVE
BLISS ST
UNION ST
PHELON ST
WORCESTER ST
FAIRVIEW AVE
Dorocher Florist
Charlies Diner
Tea and Crepe House
New England Uniform
Petell Insurance Agency
St. Joseph's Family Dental
IRVING ST
West Side Dance,
United Industrial Textile
CHURCH ST
Professional Offices
West Side Shade
SPRING ST
Sunshine Village
Arnolds Auto Body
Lee's Diagnostic,
Just Blaze, Reina's
DAY ST
COTTAGE ST
West Side Signs,
Super Cuts, Skate Sport
Madni Food Mart
Victory Temple
Salon
Victory Supermarket
HILL ST
LOWELL AVE
MAPLE ST
Eastern Electronics,
WS Record,
El Safi
Caprice Creative
Hair Salon
MOSELEY AVE
Empty
GEORGE ST
Lutheran Social Services
LOWELL ST
WINDSOR ST
M+M Small Engine Repair
BURFORD AVE
MAIN ST
West Springfield
Boys and Girls Club
Bob's Volkwagon
SPRAGUE ST
Pain Managment &
Rehab Center
COLTON AVE
ANV Consignment Shop
Representative Welch's Office
Star Pizza, Barber Shop
Bertelli's Liquor Store
Bertelli Skate Shop
MERRICK ST
The Corner Pantry
ALLEN ST
Maxot Janitorial supply
Parus Foods,
Microwave
Service Center,
Guns Inc, Community
Dev. Office
United Methodist
Church
Slavic Baptist Church
RUSSELL ST
Clark Paint Company
BRAMBLE AVE
DIKE AVE
W SCHOOL ST
E SCHOOL ST
CHAPIN ST
Franks Auto Repair
Sunoco Gas Station
Fathers and Sons
Kia of West Springfield
Fathers and Sons Auto
Fathers and Sons
CIRCUIT AVE
COOK ST
NEW BRIDGE ST
GLOBE ST
BRIDGE ST
Hofbrauhaus
Home and Apartment Shops
Computing Center,
Overlook Nursing,
Bank of Am.
Guadino's Auto Repair
Taco Bell
White Hut
Work N Gear,
Boston's Bartender School
O'BRENNAHAN ST
CENTURY WAY
Greater Springfield
Habitat for
Humanity
MEMORIAL AVE
LST
Printing Shop
Rooms direct Furniture
Goodless Electric
Major Appliances
Prepared by Dodson & Flinker
May 8th, 2012
Scale: 1" = 700'
Feet
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700
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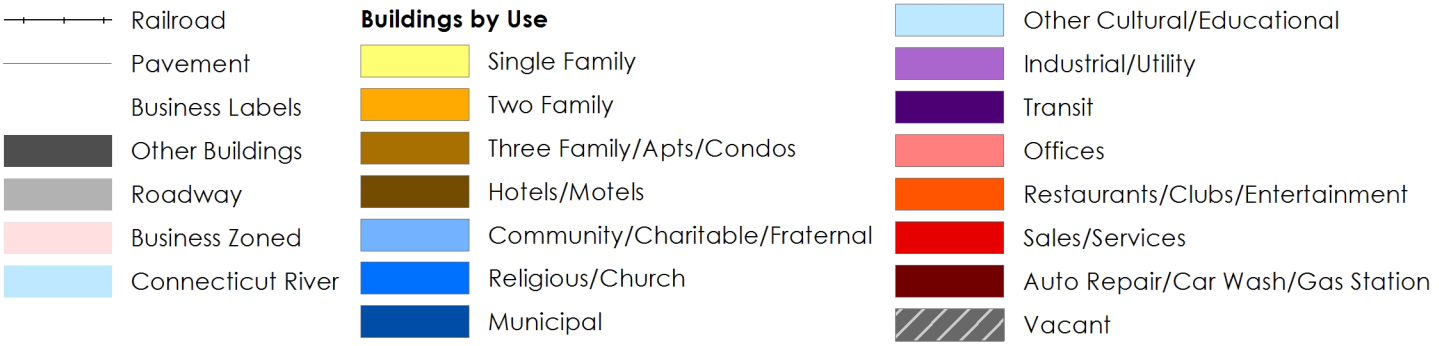
Buildings by Use

Legend



Merrick is a colorful mosaic of mixed use. Although the vast majority of buildings on the side streets between Main and Union are single-family and multi-family residences, along Main and Union themselves residences rub shoulders with shops, churches, offices, community centers and warehouses. Many of the large buildings west of Union street house industrial or light manufacturing enterprises, but commercial and civic uses are mixed in.

The light pink background color to the buildings on this map indicates areas that are business-zoned. At the south end of Merrick near Bridge Street, a significant residential neighborhood exists within the business zone.


PARK ST
ELM ST
PARK ST
HANOVER ST
ELMDALE ST
RIVERDALE ST
PARK AVE
NORTH END BRIDGE
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SYLVAN ST
WESTERN AVE
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BARNARD ST
MULBERRY ST
BRESNAHAN ST
CENTURY WAY
MEMORIAL AVE
I ST
Prepared by Dodson & Flinker
May 8th, 2012
Scale: 1" = 450'
0 175 350 700 Feet
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Residential Owner-Occupation

Legend

- Railroad
- Pavement
- Other Buildings
- Roadway
- Connecticut River

Owner Occupied

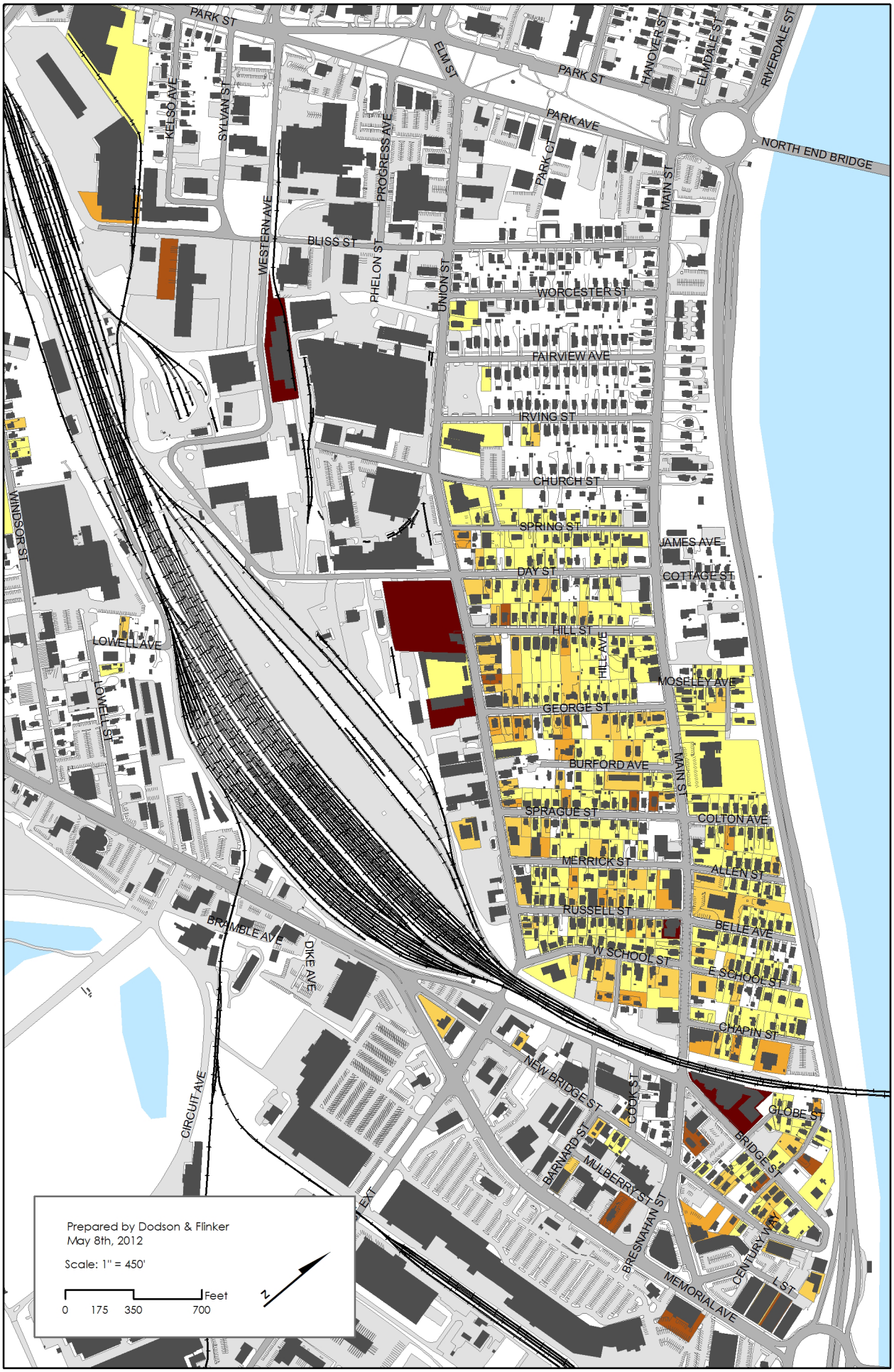
- No
- Yes

The map on the left (facing page) shows approximate owner-occupancy by parcel. It was created by comparing the taxpayer address for the property with the property address. Although there are some parcels that are missing data, the overall picture is striking: a majority of housing units in the Merrick section are rentals.

The 2010 census data, which is aggregated by block, shows a very similar profile. Most blocks have less than 25% owner-occupancy, and several, most notably those between Worcester & Irving and between George & Merrick have less than 10% owner-occupancy. These low rates of owner occupancy tend to correlate roughly with the highest vacancy rates in the neighborhood: between Bliss & Fairview, Spring & day, and Sprague & Russell Streets.

Percent Owner Occupied by Census Block (2010 US Census)

Housing Vacancy Rate by Census Block (2010 US Census)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BRESNAHAN ST
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MEMORIAL AVE
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Prepared by Dodson & Flinker
May 8th, 2012
Scale: 1" = 450'
Feet
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June 2011 Tornado Damages

Legend

- Railroad
- Pavement
- Other Buildings
- Roadway
- ParkingLots
- Connecticut River

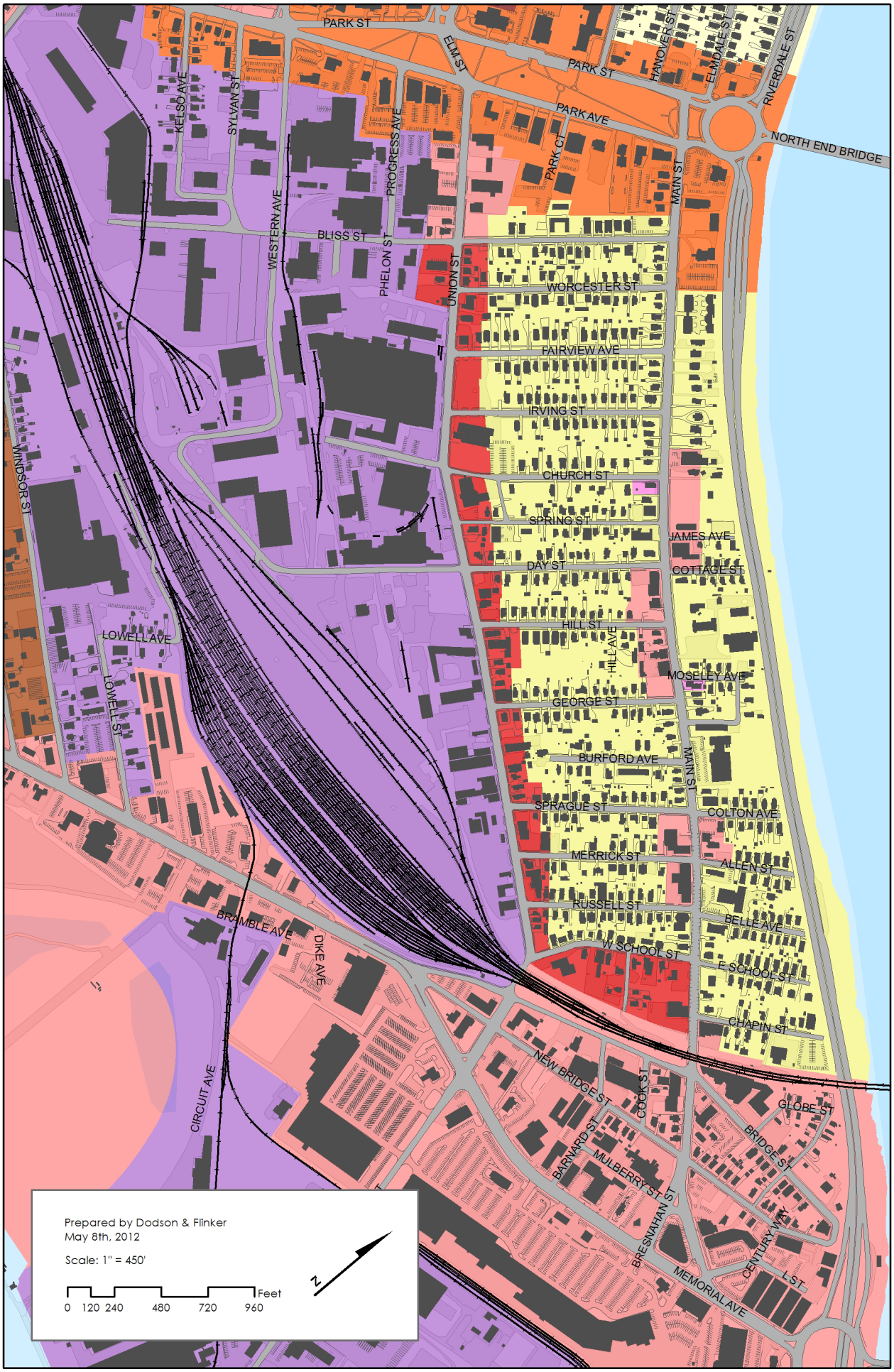
Tornado Damage Costs

- Less than $5,000
- $5,001 to $25,000
- $25,001 to $50,000
- $50,0001 to $100,000
- More than $100,000

On June 1st, 2011, a tornado tore through the Connecticut River Valley, touching down in the Merrick and Memorial neighborhoods of West Springfield. High winds ripped roofs and siding off of many houses in the souther section of Merrick and the Bridge Street section, damaging a total of 88 structures and leaving many residents without shelter. Trees in the area were reduced to their trunks, and power lines were torn entirely free of their poles. The tornado caused an estimated $140 million in damages statewide, including approximately $5 million in West Springfield.

Bridge Street neighborhood after the June 2011 Tornado. Image courtesy of Pictometry International – Rochester, NY. Copyright 2011.

Southern Section of Merrick after the June 2011 Tornado. Blue tarps cover damaged roofs and the tree canopy was decimated in the tornado's path. Image courtesy of Pictometry International – Rochester, NY. Copyright 2011.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MEMORIAL AVE
WINDSOR ST
LOWELL AVE
LOWELL ST
BRAMBLE AVE
DIKE AVE
CIRCUIT AVE
Prepared by Dodson & Flinker
May 8th, 2012
Scale: 1" = 450'
Feet
0 120 240 480 720 960
N

Existing Zoning

Legend

- Railroad
- Pavement
- Buildings
- Roadway
- ParkingLots
- WestMassRivers

Zoning

- Neighborhood Business
- Business A
- Business A-1
- Business B
- Business B-1
- Central Business District
- Industrial
- Residence A, A-1, A-2, B

The current zoning for the Merrick Neighborhood includes Industrial west of Union Street, Business B along the east side of Union Street, and Residence C for the bulk of the area between Union Street and the Connecticut River. Scattered parcels along Main Street are zoning Business A, which continues for all parcels south of the railroad. Several Main Street parcels are zoned Neighborhood Business. Finally, parcels on the north end of the neighborhood along Park Ave are zoned Business A-1.

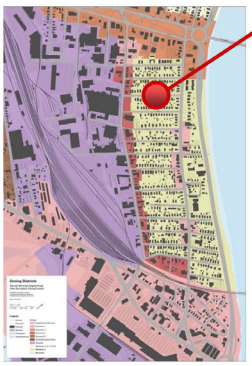
The current zoning map (opposite page) clearly fails to match either the historic pattern of uses or the present-day mix of commercial, industrial and residential structures. The map showing conformity to zoning (below left) reinforces this conclusion, with only a fraction of parcels meeting lot size, setbacks, and other requirements. This miss-match between zoning and use will inhibit redevelopment by requirement a major investment to make existing buildings conform to zoning.

Residential lots, for example, are required to have a minimum size of 10,000 square feet. Since the average is less than 5,000 square feet, this means that to build a new home someone would have to combine two lots and would likely replace any existing structures with a large house in the center of the new lot. This is a financial liability for landowners, and will gradually destroy the historic character of the neighborhood.

For business-zoned properties, the current zoning would likewise make it impossible to duplicate the traditional Main Street pattern. Instead, the likely development approach would be to set a new building back from the street with a parking lot in front. This places an unnecessary financial burden on owners, while simultaneously eroding the attractive, pedestrian-friendly character of Main Street.

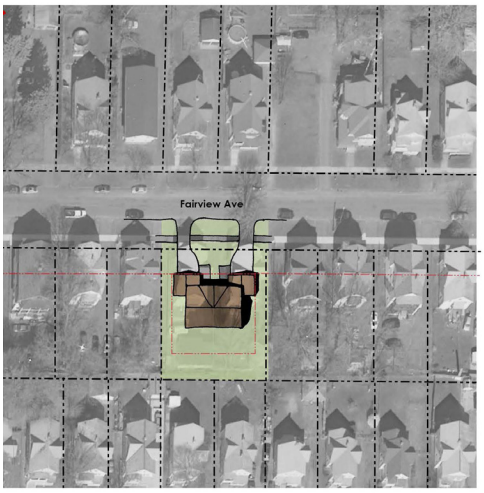
Lot Conformity to Zoning Code

Possible Development Under Existing Zoning



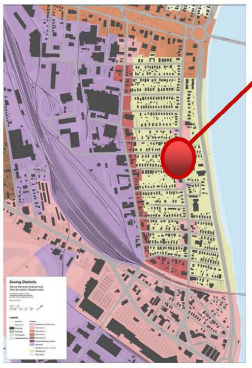
Residence C

Existing



Possible Development

Need to combine 2 existing lots to meet lot size and frontage requirements. Shown is a 2 family dwelling, 2000 square feet on 2 levels with 4 parking spaces.



Business A

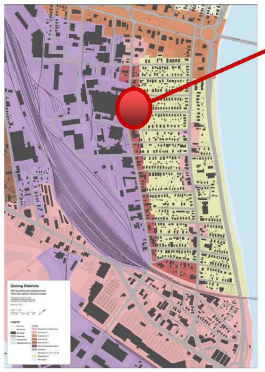
Existing

Possible Development

Need to combine 2 existing lots to meet lot size and frontage requirements. Shown is a 1-story 2,400 square feet retail building with 12 parking spaces.

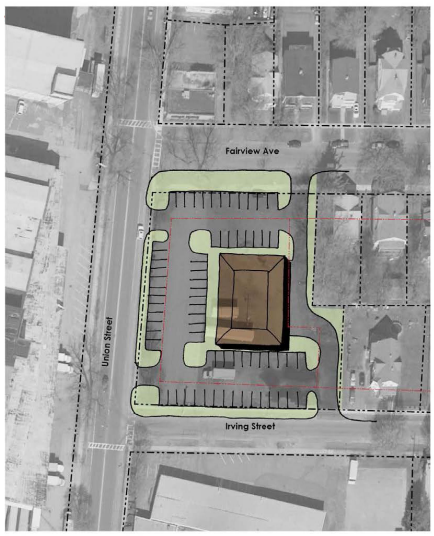
Alternate Possible Development

Need to combine 2 existing lots to meet lot size and frontage requirements. Shown is a 2.5-story 3,200 square feet retail building with 16 parking spaces.



Business B

Existing

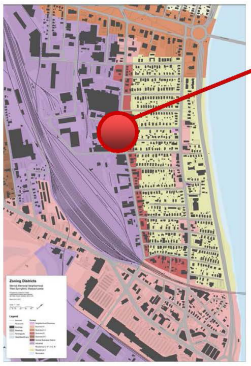


Possible Development

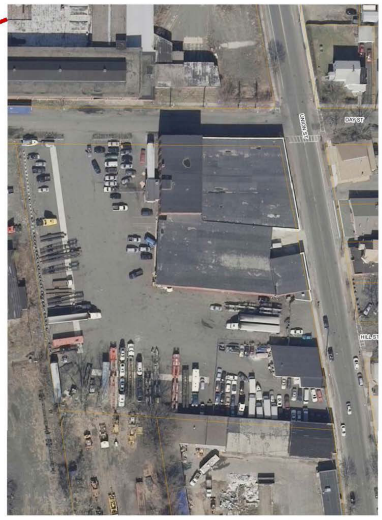
Shown is a 2-story, 13,800 square foot retail building with 69 parking spaces.

Alt. Possible Development

Shown is a 1-story 11,050 square foot retail buildings with 56 parking spaces.



Industrial



Existing

Possible Development

Shown is a 1-story, 40,000 square foot warehousing business with 72 employee parking spaces and a paved trucking area.


BUFFER BETWEEN TRUCKS AND NEIGHBORHOOD
TOO MANY CARS FOR RESIDENTIAL LOTS AND STREETS
NEED BUFFER BETWEEN RAILYARD AND NEIGHBORHOOD
BUSINESS ZONED: RESIDENCES CANNOT BE RE-BUILT
NORTH END BRIDGE
PARK ST
ELM ST
PARK AVE
RIVERDALE ST
KELSO AVE
SYLVAN ST
WESTERN AVE
PROGRESS AVE
PHELON ST
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BARNARD ST
MULBERRY ST
CIRCUIT AVE
PEARSON WAY
UNION ST EXT
CENTURY WAY
L ST
MEMORIAL AVE
Prepared by Dodson & Flinker
May 8th, 2012
Scale: 1" = 700'
0
175
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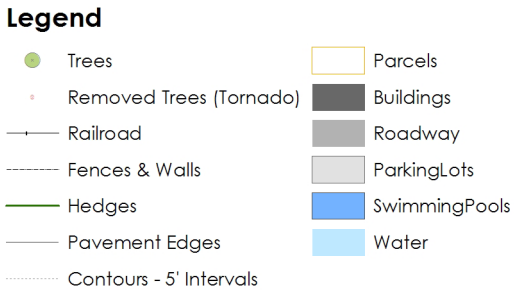
700
Feet

Opportunities and Challenges



Concerns/Challenges:

- Trucking routes near residential use:
  - Trucks idle on residential streets
  - Trucks (or just their cabs) park on residential streets, often on top of the tree belt – damage to trees
  - Noise pollution of trucks idling, backing up – worse since loss of trees to buffer.
- Multiple car households leads to paving backyards, crowded parking on streets, damaging trees by parking on the tree belt
- New development is out of scale with existing uses - i.e. new garages built that overwhelm adjacent properties. Need to explore regulations to keep structures in scale with parcels and surroundings.
- Junk build-up on private property (both residential and business)

Opportunities:

- Business/residential mix
  Example of golf club manufacturing business – it works within a residential neighborhood because "you don't know it is there."
- Bridge Street area – needs to be re-zoned so that residences can be re-built. Current zoning is commercial.
- What to do with brownfield properties?
- Union Street – how to buffer industrial uses – is PVPC grant is studying this?
- Town-owned condos at RR – should this be expanded? Provide more like this?
- Neighborhood needs: ball fields, soccer fields, community gardens, crosswalks (especially at North and South gateways).

3.0 DESCRIPTION OF PROPOSED MERRICK DISTRICT ZONING CODE

Section 1 – Purpose, Applicability, and Administration

1.1. General Purpose

The purpose of Merrick District Code is to maintain character and enhance vitality as a focus for the neighborhood's economic life, cultural vigor, and social activity. These regulations are established to promote sustainable mixed-use development as appropriate in the Merrick District, in order that future development will be compatible with the historic patterns, traditional architecture, and landscape character of the neighborhood. These regulations are intended to guide the creation of healthy neighborhood residential and business districts where building form, civic spaces, and streetscape design are integrated, connected and complimentary.

The Merrick District Code is intended to:

1.1.1 Facilitate the development of an appropriate mix of commercial, residential, entertainment, civic, and recreational uses within a traditional pedestrian oriented development pattern and supported by attractive street designs, open spaces and building forms;

1.1.2 Create a safe, accessible, convenient, attractive and highly functional neighborhood environment that meets the needs of local residents and visitors as a place to live, work, obtain necessary goods and services, recreate, and socialize;

1.1.3 Coordinate the safe circulation of private vehicles, public transit, bicycles, and pedestrians through an intermodal transportation network of streets and paths connecting neighborhoods, employment centers, open spaces, and areas of activity within the Merrick District and surrounding areas;

1.1.4 Protect and expand opportunities for small locally-owned businesses and other entrepreneurial activity that primarily but not exclusively serves the neighborhood and surrounding community; and

1.1.5 Encourage flexibility and variety in future development while ensuring preservation of and compatibility with historic fabric, the use of high quality materials and sustainable design for new buildings and landscapes.

The Merrick District Code may allow for development approaches that are acceptable and desirable but which do not explicitly comply with the standards established with this section of the West Springfield Zoning Ordinance. It is understood that these standards cannot comprehensively anticipate all possible development scenarios nor are they intended to stifle creativity or prevent innovation. Alternative approaches to meet the intentions of these standards may be proposed, reviewed, and approved under the provisions of Section 1.3 – Administration, under the alternative compliance method provided thereunder.

1.2. Applicability

The Merrick District Code provides a predictable approach to submitting, reviewing, and acting on site plans and subdivisions for incremental development and expansion of existing buildings. Except as otherwise specifically required by the West Springfield Zoning Ordinance, the review and approval of the site plans for development within the Merrick District shall be administered by the Town of West Springfield Department of Planning and Development in accordance with the Merrick District Code and Regulating Plan.

Section 2 – The Regulating Plan

2.1. The Regulating Plan

The Regulating Plan serves as the Official Zoning Map for the Merrick District. Regulations in the Merrick District are applied by zoning subdistricts, as shown on the Regulating Plan and described below. The Regulating Plan for the Merrick District is available at the Town of West Springfield Department of Planning and Development, Town Clerk's Office and on their website.

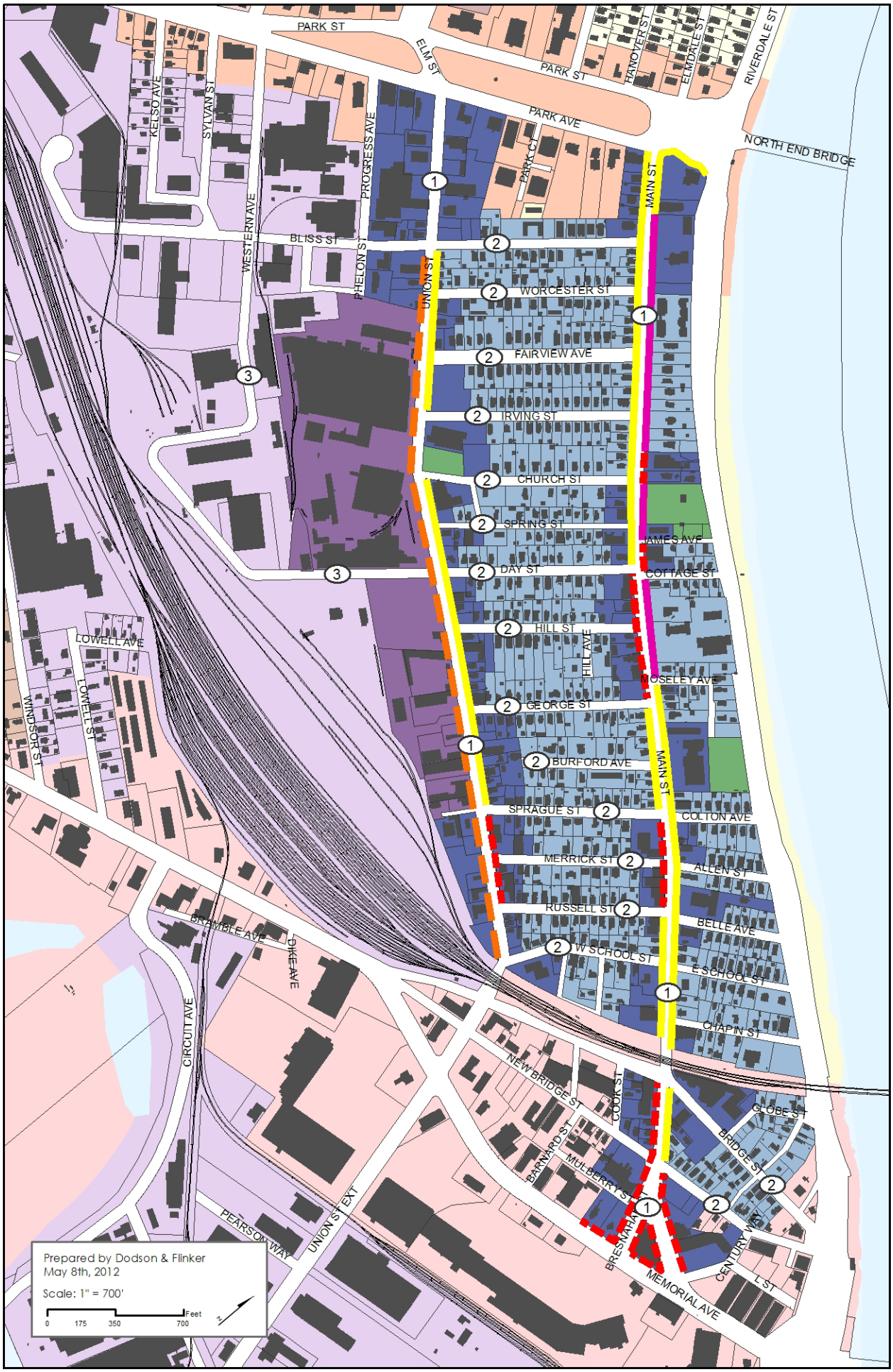
2.2. Zoning Districts and Subdistricts

The Regulating Plan is used to establish the intent and general scale of development in the Merrick District and in each of the zoning subdistricts. Each zoning subdistrict has a corresponding range of standards and regulations as established throughout the Merrick District Code. There are four (4) subdistricts within the Merrick District:

- Subdistrict 1 – Merrick Neighborhood Residential Zone (MNRZ)
- Subdistrict 2 – Merrick Neighborhood Business Zone (MNBZ)
- Subdistrict 3 – Mixed Use and Employment Zone (MUEZ)
- Subdistrict 4 – Merrick Natural and Civic Zone (MNCZ)

The general purpose and intent of these subdistricts are as follows:

2.2.1 *Subdistrict 1: Merrick Neighborhood Residential Zone (MNRZ)* – The purpose of the MNRZ is to promote a suitable environment for residential life through the provision of quality housing and civic facilities as basic elements of a balanced neighborhood, to stabilize and protect the essential characteristics of existing residential development, and to foster development that is compatible with the other natural and built characteristics of the area. The MNRZ supports a mix of small to medium-sized traditional residential building types with predominately residential uses and home-based occupations on an interconnected street. For certain properties fronting on Union Street and Main Street, moderate increases in residential densities are permitted as well as a limited mix of residential and commercial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UNION ST EXT
BRESNAHAN WAY
CENTURY WAY
MEMORIAL AVE
Prepared by Dodson & Flinker
May 8th, 2012
Scale: 1" = 700'
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175
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700
Feet

REGULATING PLAN

Legend

- Railroad
- Parcels
- Buildings
- Water

Existing Zoning

- Neighborhood Business
- Business A
- Business A-1
- Business B
- Business B-1
- Central Business District
- Industrial
- Residence A, A-1, A-2, B
- Residence C
- Recreation

Proposed Zoning

- MNRZ Merrick Neighborhood Residential Zone
- MNBZ Merrick Neighborhood Business Zone
- MUEZ Merrick Union Employment Zone
- MNCZ Merrick Natural and Civic Zone

Proposed Frontage Zones

- Mixed Use with Ground Floor Commercial
- Mixed Use with Residential 300' of Union St.
- Mixed Use with Special Building Types
- Front Yard Open Space Conservation

Proposed Street Types

1. Union & Main Streets
2. Residential Streets
3. Truck Routes
4. Parking Access Road
5. Alleys
6. Mixed-Use Streets

uses. The MNRZ regulations are intended to reinforce and enhance the prevailing residential development patterns and building forms as applied to expansion and replacement of existing dwellings.

2.2.2 *Subdistrict 2: Merrick Neighborhood Business Zone (MNBZ)* – The MNBZ consists of a mix of uses in a wide variety of building types and supported by on-street and off-street parking. The purpose of the MNBZ is to provide areas on Main Street and Union Street for a mix of uses, including retail, food and entertainment, office, civic and institutional, and housing of moderate density. The MNBZ may include frontage zones (see Section 2.3.3 below) indicating specific emphasis in terms of the relative mix of uses, as well as form-based standards controlling the form and pattern of future development including, and in relationship to, public streets and open spaces. To this end, the MNBZ's intention is to create a compact, walkable, mixed use district primarily serving its inhabitants as well as residents in the Merrick Neighborhood and surrounding areas.

2.2.3 *Subdistrict 3: Mixed Use and Employment Zone (MUEZ)* – The MUEZ is intended for long-term redevelopment. The subdistrict is confined to the area between Union Street and Western Avenue allows for a variety of moderate to large building types with a broad mix of uses including residential, commercial, light industrial, and civic.

2.2.4 *Subdistrict 4: Merrick Natural and Civic Zone (MNCZ)* – This zone contains minimal development aside from those functions related to recreation and community gathering. The MNCZ is intended to ensure public access to open spaces such as the Connecticut River, existing and future civic gathering spaces, passive and active recreational areas, and to protect the sensitive landscapes and environmental attributes within the Merrick District.

2.3. Regulating Plan Elements and Interpretation

2.3.1 *Zoning Subdistricts*: The Regulating Plan identifies subdistricts which are actual zoning districts where certain types of new development, building expansion, rehabilitation or reuse are targeted in the Merrick District. These subdistricts are created and accessed by existing or planned streets as shown on the Regulating Plan. Each subdistrict is labeled on the Regulating Plan. There are four (4) subdistricts as described in Section 2.2 above which include MNRZ, NBZ, MUEZ, and MNCZ.

2.3.2 *Existing and Proposed Street Types*: Each of the existing street right-of-ways in the Merrick District are identified on the Regulating Plan. Most of these streets are publicly-accepted streets. Other streets shown on the Regulating Plan may be located in areas planned for future development in which these streets are intended to provide access. The list of existing and future streets and other thoroughfares such as multi-purpose pathways in the Merrick District include the following:

1) Neighborhood Business District Street Type 1
2) Neighborhood Residential Street Type A
3) Neighborhood Residential Street Type B
4) Mixed Use Street
5) Industrial Park Street
6) Parking Access Street
7) Alley
8) Multi-Purpose Trail

These future streets may be private or public if accepted by the Town of West Springfield. All street types in the Merrick District are intended to be walkable and attractive. Specific design elements for existing streets and new streets are identified in the Merrick Code, Section 5 – Street Standards.

Commentary: *This proposed ordinance encourages all new and renovated buildings to be compatible with prevailing and desirable design characteristics in the Merrick District but it does not prescribe any particular architectural style. This section is intended to be predictable. It is also intended that it be flexible. The predictability and flexibility embodied in this section permit creativity and diversity in architectural design. At the same time, the construction, renovation and maintenance of traditional buildings, civic space, and development patterns contribute to the Town's character, history and quality of life.*

2.3.3 *Frontage Zones*: There are Frontage Zones in the Merrick zoning subdistricts as shown on the Regulating Plan. Each Frontage Zone includes the contiguous land area along an existing or new street from the edge of the public right-of-way. There are four (4) frontage zones within the Merrick District:

1) **Ground-Floor Commercial** – Located along segments on Main Street. These are targeted for mixed commercial and residential uses and have ground floor limitations requiring certain types of commercial uses to occupying the ground floor.
2) **Mixed-Use Limitation** – Along the east side of Union Street within the MUEZ. This frontage zone only allowing for residential and mixed use including residential within 300 feet of the Union Street right-of-way. The purpose of this frontage zone is to preserve the land areas within the MUEZ currently used for commercial and industrial, and located near to the rail yard, to be buffered from residential uses which may not be compatible with these uses.
3) **Special Building Types** – This Frontage Zone is located along segments of both Main Street and Union Street and allows for additional residential building types including rowhouses, live/work units, and multi-family buildings with up to 12 dwelling units.
4) **Landscaped Front Yard** – This Frontage Zone is located along segments of the east side of where there has historically been front yard setbacks of 75 feet providing an important landscape characteristic and attribute of the Merrick Neighborhood.

Within MNBZ Ground Floor Commercial Frontage Zones certain uses are denoted by a "GFL" on Figure 1. These uses shall not occupy the ground floor of a building in the portion of said building within the first forty (40) feet of lot depth measured from the public street right-of-way. These uses may be located in the upper floors within the Frontage Zone and at ground level at more than 40 feet in lot depth and outside the Frontage Zone. Street entrances may be allowed to GFL uses above the ground floor within the Frontage Zone or at the side or rear of the building beyond the Frontage Zone.

Commentary: *The purpose of this requirement is to maintain the commercial character and opportunity along segments of the Main Street and Union Street corridors whereas residential buildings tend to break up the critical mass necessary to keep the interest of pedestrians and other potential customers.*

Section 3 – Uses

Commentary*: It is very important to the long-term viability of the Merrick District that a broad and flexible mix of uses is allowed in a traditional village and neighborhood development pattern. A combination of uses including retail, food and entertainment, professional services, residential, recreational, cultural, educational, and governmental must be permitted if Merrick District is to be "a place of necessity" for residents, a destination for visitors and an attractive opportunity for entrepreneurs and prospective investors. Along Main Street and Union Street, well placed professional offices and residential uses (optimally on upper floors and side streets) fill vacant/underutilized spaces, create investment, provide built in security, and reduce traffic (you can live, work, shop and eat all within walking distance). Only truly incompatible uses should be separated in Merrick subdistricts. Much of the potential for incompatible uses can be addressed through performance standards and vertical separation, which would apply additional requirements to ensure that conflicts between certain uses don't occur. The proposed mix of uses allows for a broad range of uses and performance standards where certain uses could create conflicts under certain conditions.*

3.1. Intent

Table 1 Use Regulations provides for a broad variety of uses in the Merrick District and are organized by the following use categories: Residential; Community Facilities; Retail and Service Commercial; Agricultural; Wholesale, Transportation and Industrial; and Accessory. While not the primary determinant of building form, the use of a lot is restricted by both the zoning district in which it is located and by the Building Type and location within the respective Building Type as described in Section 4 – Building and Lot Types.

a. The Table of Use Regulations

Uses within the Merrick District are consistent with Table 5 of the West Springfield Zoning Ordinance and grouped into six broad Use Categories. A proposed use in any zone that in the opinion of the Zoning Enforcement Officer is not clearly allowed or prohibited as a Permitted Use or by Special Permit in that zone shall be referred to the Planning Board for a determination as to whether the use should be

allowed as a permitted use, allowed as a Special Permit, or prohibited in one or more of the Merrick District zoning subdistricts. The Table of Use Regulations includes the following key:

- P = Permitted by Right with proper application
- SPR = Permitted with site plan review and approval
- SPB = Permitted by Special Permit from the Planning Board
- SPA/SPR = Permitted by Special Permit from the Board of Appeals and site plan review and approval
- P/FZ = Permitted subject to Frontage Zone requirements
- N = Not Permitted

***Commentary**: In addition to currently allowed uses in the West Springfield Zoning Ordinance, the proposed Table of Use Regulations provides additional Alternative Uses for consideration in the Merrick District. These are uses not currently identified in the ordinance but could enhance the subdistricts where suggested.*

TABLE 1 - USE REGULATIONS (COMBINED AND EXPANDED TABLE 5 FROM W. SPRINGFIELD ZONING ORDINANCE)

USES	STANDARDS & CONDITIONS	MERRICK DISTRICT (PROPOSED)				
		MNRZ	MNBZ	MUEZ	MNCR	Performance Standards
RESIDENTIAL USES						
1 Single-family detached dwelling		P	N	N	N	See Section 3.3
2 Two-family dwelling		P	N	N	N	See Section 3.3
3 Multi-family dwellings	All required front and side yards shall be landscaped and shall not be devoted to off-street parking. No use, other than residential, shall be permitted in a multi-family dwelling unless provision for such use, including required parking space, is clearly depicted on the original plan.	P	N	PFZ	N	Each building shall be separated from other such buildings by a minimum of twenty (20) feet, and have no more than twelve (12) dwelling units.
4 Boarding house and lodging house		N	SPB	N	N	See Section 3.3
5 Cluster Development		N	N	N	N	
6 Mobile home parks	See Section 8.5	N	N	N	N	
7 Rowhouses/Townhouses		SPB	SPB	SPB	N	Each building shall be separated from other such buildings by a minimum of twenty (20) feet, and have no more than twelve (12) dwelling units.
						The building(s) shall be connected with the public sewer system prior to occupancy, and shall be located in one of the following areas: 1) areas close to heavily traveled streets, 2) areas close to business districts, or 3) areas already developed for multi-family use.
						In the MNRZ, townhouses are only permitted on the portion of a lot fronting on Main Street and Union Street where specifically allowed by Frontage Zone on the Regulating Plan.
8 Cottage Courts		P	N	N	N	See Section 3.3
9 Accessory Dwelling or Converted Dwelling		SPB	SPB	N	N	In an existing residence, carriage house, or accessory structure, attached or detached to an existing residence, may be converted into a dwelling unit provided all other zoning requirements which would apply to converted dwellings are met.
						A conversion of a structure shall not exceed the total number of dwelling units allowed on the lot.
						In the MNRZ, MNBZ, and MUEZ, the SPGA shall issue a Special Permit in accordance with the provisions of this section only after finding the subject parcel in the nonresidential district would not be adversely affected by the multiple dwelling use and that the uses permitted in the district would not be noxious to the multiple dwelling use.
						No detached structure shall be converted under the provisions of Section 4 unless it has an exterior footprint of at least 500 square feet.
10 Live-Work Unit or Building		N	P	P	N	The intent of live-work is to permit businesses, professions, occupations, trade or micro-industries within a residential structure or on a residential lot that requires employees, customers, clients, or patrons to visit the location. Live-Work units and lots are permitted in designated zoning districts provided the following standards are met:
						1). Live-Work units shall only contain an allowed Residential use in combination with an allowed Community Facilities and Retail and Service Commercial Uses allowed in the given district.
						2). Live-Work is only permitted in structures with street level access
						3). A minimum of one person must occupy the live-work unit or lot as their primary place of residence.
						4). The live-work structure or lot shall employ no more than two persons not living on the premises at any one time.
						5). No business storage or warehousing of materials, supplies or equipment is permitted outside the live-work structure.
						6). No equipment or process may be used in connection with the live-work uses which creates noise, vibration, glare, fumes, odor, or electrical interference detectable to the normal senses outside the building.
COMMUNITY FACILITIES						

	USES	STANDARDS & CONDITIONS	MERRICK DISTRICT (PROPOSED)				
			MNRZ	MNBZ	MUEZ	MNCR	Performance Standards
1	Churches or other religious purposes and any religious sectarian or denominational educational purposes		SPB	P	P	P	See Section 3.3
2	Educational uses, not conducted for profit		SPB	P	P	P	See Section 3.3
3	Private educational uses conducted for gain	In Business A-1 zoning districts such uses may be located only in office and/or multi-family structures. The total floor area of all such uses within any such structure shall not exceed 25% of the gross floor area of such structure or 4,000 square feet, whichever is the lower.	SPB	P	P	P	See Section 3.3
4	Child care facilities	The director must file a copy of the operating license with the Building Inspector before a certificate of occupancy can be issued.	SPB	P	P	P	See Section 3.3
5	Family home day care	The director must file a copy of the operating license with the Building Inspector before a certificate of occupancy can be issued.	SPB	P	P	P	See Section 3.3
6	Recreation community center	Building grounds must be for games and sport. Center must be of a non-profit character only. Sale of alcoholic beverages shall not be permitted. See Section 10.4 for additional standards.	N	P	P	P	See Section 3.3
7	Recreational uses, athletic fields, parks, marinas and similar outdoor uses		SPB	P	P	P	See Section 3.3
8	Correction institution or place of detention	Alteration, expansion, remodeling or repair of existing structures only in BA, BB and BB-1 districts	N	N	N	N	See Section 3.3
9	Hospital, sanitarium	Only non-profit hospitals or sanitariums are permitted in Residential Districts. Non-profit hospitals or sanitariums are permitted. See Section 10.3 for additional standards.	N	N	N	N	See Section 3.3
10	Membership clubs, lodges		N	P	P	P	See Section 3.3
11	Municipal, County, State and Federal use		SPB	SPB	SPB	SPB	See Section 3.3
12	Cemeteries adjacent to or in extension of existing cemeteries and cemeteries for the use of religious societies		P	P	P	P	See Section 3.3
RETAIL AND SERVICE COMMERCIAL USES							
1	Convenience market		N	SPR	SPR	N	See Section 3.3
2	Bookstore, newsstands, stationery stores, barber shops and beauty parlors	In Business A-1 zoning districts such uses may be located only in office and/or multi-family structures. The total floor area of all such uses within any such structure shall not exceed 25% of the gross floor area of such structure or 4,000 square feet, whichever is the lesser.	N	SPR	SPR	N	See Section 3.3
3	Pharmacy, drugstore	In Business A-1 zoning districts such uses may be located only in office and/or multi-family structures. The total floor area of all such uses within any such structure shall not exceed 25% of the gross floor area of such structure or 4,000 square feet, whichever is the lesser.	N	SPR	SPR	N	See Section 3.3

	USES	STANDARDS & CONDITIONS	MERRICK DISTRICT (PROPOSED)				
			MNRZ	MNBZ	MUEZ	MNCR	Performance Standards
4	Supermarket, grocery store	In Business A-1 zoning districts such uses may be located only in office and/or multi-family structures. The total floor area of all such uses within any such structure shall not exceed 25% of the gross floor area of such structure or 4,000 square feet, whichever is the lesser.	N	SPR	SPR	N	See Section 3.3
5	Furniture Store		N	SPR	SPR	N	See Section 3.3
6	Major Appliance Store		N	SPR	SPR	N	See Section 3.3
7	All other retail establishments		N	SPR	SPR	N	See Section 3.3
8	Establishments providing drive- through service	Allowance for bank, credit union or trust company with drive-through service – see use category below.	N	N	SPB/SPR	N	See Section 3.3
9	Restaurants, cafeterias, lunchrooms, coffee shops, and other similar eating places	Uses where consumption is primarily intended to be within the building. In Business A-1 Zoning districts such uses may be located only in office and/or multi-family structures. The total floor area of all such uses within any such structure shall not exceed 25% of the gross floor area of such structure or 4,000 square feet, whichever is the lesser.	N	SPR	SPR	N	See Section 3.3
10	Drive-in, Take-out, or fast-food restaurant		N	SPB	SPB	N	See Section 3.3
11	Taverns, pubs and cocktail lounges	In Business A-1 Zoning districts such uses may be located only in office and/or multi-family structures. The total floor area of such uses within such structures shall not exceed 25% of the gross floor area of such structure or 4,000 square feet, whichever is the lesser	N	SPR	SPR	N	See Section 3.3
12	New Car Dealerships		N	N	N	N	
13	Sale of used motor vehicles and trailers	See Section 10.2 for additional standards	N	N	N	N	
14	Rental & leasing of motor vehicles and trailers	On-premise repair and detailing of lease vehicles subject to review and approval as a Repair Garage	N	SPB	P	N	See Section 3.3
15	Hotel, motel, inn, bed-and-breakfast use		N	P	SPB	N	See Section 3.3
16	Gasoline filling stations and commercial automobile parking lot	Gasoline filling stations having more than one island shall be required to maintain a minimum of one full service island. Gasoline filling stations having one island shall be allowed to operate as a complete self-service station. Alteration, remodeling or repair of existing facilities only is permitted in the CB district.	N	N	SPB	N	See Section 3.3
17	Gasoline filling station with convenience market	Must comply with the Standards & Conditions for Gasoline filling stations above.	N	N	SPB	N	See Section 4.6
18	Car wash		N	N	SPB	N	See Section 3.3
19	Repair garage	See Section 10.8 for additional standards.	N	SPB	SPB	N	See Section 3.3
20	Funeral home		N	SPB	SPB	N	See Section 3.3
21	Theater, billiard or pool parlor, bowling alley, skating rinks and similar indoor recreational uses or places of amusement, not including carnivals or circuses	Expansion of bowling alleys, health clubs, existing facilities is billiard or pool parlors are exempt from Special other recreation activity.	N	SPR	SPR	N	See Section 3.3
22	Adult theater, bookstore, and club		N	N	N	N	

	USES	STANDARDS & CONDITIONS	MERRICK DISTRICT (PROPOSED)				
			MNRZ	MNBZ	MUEZ	MNCR	Performance Standards
23	Self-service stores for laundry and dry-cleaning	In Business A-1 zoning districts such uses may be located only in office and/or multi-family structures. The total floor area of all such uses within any such structure shall not exceed 25% of the gross floor area of such structure or 4,000 square feet, whichever is the lesser.	N	SPR	SPR	N	See Section 3.3
24	All other personal service establishments	Does not include any office and services specifically listed in this table.	N	SPR	SPR	N	See Section 3.3
25	Consumer service establishments	Includes the following similar uses: upholsterer, repair or service shop for appliance repair, watch repair or business equipment repair	N	SPR	SPR	N	See Section 3.3
26	Photocopy shop, printing shop engaged in sheet-fed printing		N	SPR	SPR	N	See Section 3.3
27	Bank, credit union, trust company or similar financial institution	In RC district, banks shall not include armored car services or similar uses.	N	SPR	SPR	N	In the MNBZ, Walk up ATM serive is permitted and drive-through facilities shall be located to the rear of the primary building.
28	Bank, credit union or trust company with drive-through service		N	SPB	SPB	N	In the MNBZ, Walk up ATM serive is permitted and drive-through facilities shall be located to the rear of the primary building.
29	Tradesman		N	P	P	N	See Section 3.3
30	Medical/dental center, offices, clinic or laboratory	In the CB, BA-1 and NB district, medical and dental offices only; Only medical laboratories are permitted in the SU- T district; See Section 10.3 for additional standards	N	SPR	SPR	N	See Section 3.3
		In RC district, medical/dental offices only are permitted. See Section 10.3 for additional standards.					
31	Rest home, convalescent home, nursing home	In Business A-1 Zoning districts such uses may be located only in office and/or multi-family structures. The total floor area of such uses within such structures shall not exceed 25% of the gross floor area of such structure or 4,000 square feet, whichever is the lesser	N	SPR	SPR	N	See Section 3.3
32	Telephone and express offices, radio and television broadcasting stations and film studios		N	SPR	SPR	N	See Section 3.3
33	All other professional, business, insurance, executive, administrative, and technical offices and services.	Does not include any office and services specifically listed in Table 5. Executive, administrative and technical offices and services are not permitted in the NB district. In Inustrial Districts, technical services include, but are not limited to, data processing, computer software, and computer hardware manufacturing.	N	SPR	SPR	N	See Section 3.3
34	Recreational camps or overnight camps or cabins		N	N	N	N	
35	Therapeutic Massage Facilities		N	SPR	SPR	N	See Section 3.3
36	Residential Communications Link	See Section 11.55	P	P	P	P	See Section 3.3
37	Wireless Communication Facilities	Subject to the standards outlined in section 11.0	P	P	P	P	See Section 3.3
38	**Mixed Use Building (NEW) - containing dwelling units in combination with stores or other permitted business or commercial uses.**		N	SPR	SPR	N	In the MNBZ Frontage Zone there shall be no dwelling units, nor portions thereof other than entries thereto as required, on the first floor. No more than ten percent (10%) of the gross floor area on the first floor shall be associated with or incidental to, whether for storage or other purposes, the residential uses on upper floors.

USES	STANDARDS & CONDITIONS	MERRICK DISTRICT (PROPOSED)				
		MNRZ	MNBZ	MUEZ	MNCR	Performance Standards
39 Retail Establishments (ALT)		N	SPR	SPR	N	In the MNBZ and MUEZ, no single retail business or establishment (including all retail establishments as defined in Table 5), whether located in a single building, combination of buildings, single tenant space and/or combination of tenant spaces, shall exceed 10,000 gross square feet of floor area in the aggregate. New retail establishments and expanded existing retail establishments larger than the square footage stated above may be permitted only with a special permit from the Permit Granting Board subject to the provisions set forth in Sections 10.3 of this bylaw and consistent with the additional standards and conditions set forth below:
						1). The new or expanded existing use will maintain a scale of development appropriate to the district.
						2). The intensity of activity in the district is not such that allowing the larger use will be likely to foreclose the location of other needed neighborhood-serving uses in the area.
						3). The proposed use will serve the Merrick District, in whole or in significant part, and the nature of the use requires a larger size in order to function.
						4). The building in which the use is to be located is designed consistent with the standards set forth in Article 16.0 which respect the scale of development in the district.
40 Personal Care Establishments (ALT)		P/FZ	SPR	SPR	N	In the MNRZ and MNBZ, no single personal care establishment (including all personal care establishments as defined in Table 5), whether located in a single building, combination of buildings, single tenant space and/or combination of tenant spaces, shall exceed 5,000 gross square feet of floor area in the aggregate. New personal care establishments and expanded existing personal care establishments larger than the square footage stated above may be permitted only with a special permit from the Permit Granting Board subject to the provisions set forth in Sections 3 (FBC) of this bylaw and consistent with the additional standards and conditions set forth below:
						1). The new or expanded existing use will maintain a scale of development appropriate to the district.
						2). The intensity of activity in the district is not such that allowing the larger use will be likely to foreclose the location of other needed neighborhood-serving uses in the area.
						3). The proposed use will serve the surrounding neighborhood, in whole or in significant part, and the nature of the use requires a larger size in order to function.
						4). The building in which the use is to be located is designed consistent with the standards set forth in Section 3 which respect the scale of development in the district.
						5). In the MNRZ, Personal Service Establishments are only permitted on the designated Frontage Zones on Main Street and Union Street.
41 Food & Drink Establishment (ALT)		N	P/SPR	P/SPR	N	In the MNBZ and MUEZ, Food & Drink Establishments shall have a maximum gross floor area of 5,000 square feet. New Food & Drink establishments and expanded existing Food & Drink establishments larger than the square footage stated above may be permitted only with a special permit from the Permit Granting Board subject to the provisions set forth in Sections (X) of this bylaw and consistent with the additional standards and conditions set forth below:
						1). The new or expanded existing use will maintain a scale of development appropriate to the district.
						2). The intensity of activity in the district is not such that allowing the larger use will be likely to foreclose the location of other needed neighborhood-serving uses in the area.
						3). The proposed use will serve the surrounding neighborhood, in whole or in significant part, and the nature of the use requires a larger size in order to function.

	USES	STANDARDS & CONDITIONS	MERRICK DISTRICT (PROPOSED)				
			MNRZ	MNBZ	MUEZ	MNCR	Performance Standards
							4). The building in which the use is to be located is designed consistent with the standards set forth in Section 3 (FBC) which respect the scale of development in the district.
AGRICULTURAL USES							
1	Agriculture, horticulture, floriculture, or viticulture	Must be located on parcels of land with more than 5 acres. Agricultural uses include commercial kennels, the commercial keeping and raising of swine and livestock, the commercial keeping and raising of poultry and farmstands. No poultry yard shall be situated nearer than 100 feet to any lot line or any building or structure used for human habitation. A farmstand must be located at least 30 feet from any street line and accessible over a private driveway. Farmstands shall be accessory to a dwelling on the same lot.	P	P	P	P	See Section 3.3
2	Nurseries & greenhouses		N	SPR	SPR	N	See Section 3.3
3	Animal shelters, animal clinics, veterinary hospital		N	SPR	SPR	N	See Section 3.3
WHOLESALE, TRANSPORTATION AND INDUSTRIAL USES							
1	Converting, fabricating, manufacturing, altering, finishing and/or assembling uses		N	N	SPR	N	See Section 3.3
2	General industrial uses not commonly considered hazardous or noxious		N	N	SPR	N	See Section 3.3
3	Scientific and/or research laboratory		N	N	SPR	N	See Section 3.3
4	Newspaper printing, job printing, upholstering, laundries, cleaning and dyeing establishments		N	N	SPR	N	See Section 3.3
5	Contractors, yards and buildings		N	N	SPR	N	See Section 3.3
6	Open storage of raw materials, finished goods, or construction equipment and structures for storing such equipment.	Must be screened from public view. The preferred method of such screening shall be a landscaped arrangement of plantings; if this is not feasible, opaque fencing shall be used.	N	N	SPR	N	See Section 3.3
7	Bulk storage in buildings		N	N	SPR	N	See Section 3.3
8	Bus, railroad or other public transportation stations	Does not include railroad yards, shops and sheds	N	SPB	SPR	N	See Section 3.3
9	Taxi terminals and limousine livery		N	SPB	SPR	N	See Section 3.3
10	Truck terminals and freight handling		N	N	SPB	N	See Section 3.3
11	Railroad yards, shops and sheds		N	N	SPR	N	See Section 3.3
12	Wholesale trade and distribution, warehousing establishments, moving and storage operations	Excludes the storage of materials, equipment and supplies in the open in the BA district; For the IP-L district only: Storage in the open shall be screened from public view. The preferred method of such screening shall be a landscaped arrangement of paintings; if this is not feasible, opaque fencing shall be used.	N	N	SPR	N	See Section 3.3
13	Warehouse/retail trade and distribution facility		N	N	SPR	N	See Section 3.3
14	Distributorships dealing with commercial and industrial supplies		N	N	SPR	N	See Section 3.3

	USES	STANDARDS & CONDITIONS	MERRICK DISTRICT (PROPOSED)				
			MNRZ	MNBZ	MUEZ	MNCR	Performance Standards
15	Self-storage units	Must be screened. The rental of trucks or vans shall be considered an allowable accessory use provided that the area devoted to the storage of rental vehicles does not exceed one (1%) percent of the ground floor area devoted to the principal use of Self-storage units.	N	N	N	N	See Section 3.3
16	Sewage disposal, incineration, reduction of or dumping of offals, garbage or refuse	All operations thereunder shall be allowed only upon adequately enclosed premises and subject to other appropriate conditions for purpose of safeguarding the health, safety and welfare of the inhabitants of the Town. Use must be controlled by the municipality.	N	N	N	N	See Section 3.3
17	Removal of soil, loam, sand or gravel from land not in public use	A permit for such operation shall be granted pursuant to the town bylaws before such operation shall begin.	N	N	N	N	See Section 3.3
18	Railroad or other public transportation stations	Does not include railroad yards, shops and sheds.	N	SPR	SPR	N	See Section 3.3
19	Junk yards, junk storage, scrapping of motor vehicles and parts and the salvage thereof	All operations thereunder shall be allowed only upon adequately enclosed premises and subject to other appropriate conditions for purpose of safeguarding the health, safety and welfare of the inhabitants of the Town. See Section 10.5 for additional standards.	N	N	N	N	See Section 3.3
ACCESSORY USES							
1	Accessory residential buildings such as private garage playhouse, greenhouse not used in farming operations, tool shed, or other similar accessory structures	Accessory structures shall be located in the rear yard of the principal structure. A private garage shall be permitted only as an accessory use and shall be subject to all applicable provisions of this bylaw pertaining to accessory buildings. A private garage or storage space for not more than three (3) motor vehicles shall be permitted on a lot, except as otherwise provided therein. In the case of multi-family or group dwellings, individual garage storage space for each family accommodated on the lot may be provided either as an integral part of the building or in an accessory building or buildings.	P	P	P	N	See Section 3.3
2	Garaging or parking of commercial vehicles	Vehicles used primarily for agricultural purposes on the premises are exempt. The following Standards and Conditions shall apply on in all residential districts. a. Commercial vehicles shall not be more than three-fourth tons in rated capacity. b. Not more than one commercial vehicle can be kept per lot. c. Commercial vehicles shall not be customarily parked in the open. d. The lease or rental of garage storage to a non- residential owner of a commercial vehicle is not permitted.	N	SPR	SPR	N	See Section 3.3

	USES	STANDARDS & CONDITIONS	MERRICK DISTRICT (PROPOSED)				
			MNRZ	MNBZ	MUEZ	MNCR	Performance Standards
3	Accessory storage of unregistered motor vehicle stored in the open	The following Standards & Conditions shall apply: a. No owner or occupant of property in the Town shall allow one or more unregistered motor vehicle to be stored in the open for a period of more than 90 days. Owners or occupants of property in violation of this paragraph shall be subject to the appropriate regulations of Chapter I, i.e., "General Provisions" of this bylaw. b. Exceptions, Section a. shall not apply to business property authorized and licensed by the town to sell, rent or lease motor vehicles in the open.	N	N	N	N	
4	Fences	Fences are subject to additional standards in Section 9.4	P	P	P	P	See Section 3.3
5	Home Occupation	See Section 10.0 for standards.	P	P	P	N	See Section 3.3
6	Accessory industrial and commercial structures to serve principal industrial and commercial uses respectively	Accessory structures greater than 600 square feet in area shall require a Special Permit issued by the Planning Board; See Section 6.34 for additional standards.	N	SPR	SPR	N	See Section 3.3
7	Accessory signs	See Section 9.2 for sign standards.	P	P	P	P	See Section 3.3
	Accessory off-street parking and loading standards	See Section 9.0 for additional standards. In CB district, the use may be operated as a principal or accessory use.	P	P	P	P	See Section 3.3
8	Off-site parking area or structure		SPB	SPR	SPR	SPR	See Section 3.3
9	Temporary structure	See Section 9.9 for additional standards.	P	P	P	P	See Section 3.3
10	Storage	With the exception of single-family and two- family dwellings all equipment, vehicles, storage bins, etc., associated with snow removal, care of grounds, solid waste disposal and maintenance in general shall be stored in designated areas, distinct from open space and associated with automobile and pedestrian circulation and shall be shielded from public and private view. Such storage shall be consistent with fire and safety regulations.	P	P	P	P	See Section 3.3
11	Common Driveway	See Section 9.1 for standards	SPB	SPB	SPB	SPB	See Section 3.3

b. Specific Use Performance Standards

In addition to the Performance Standards included in the Table of Use Regulations, the following specific use performance standards apply to new permits in the Merrick District zoning districts:

3.3.1 *Residential Performance Standard* - The following minimum average dwelling unit size applied to all new residential developments in the Merrick District:

Table 2 - Minimum Average Dwelling Unit Size	
Multi-Family Dwellings:	Average Unit Size (SF)*
Bedrooms:	
0 to 1	650 (500 minimum)
2	950
Greater than 2	150 per additional bedroom
Single-Family Unit Size:	
Attached	1,100
Detached	1,500
*Averages shall be calculated within a single site plan application only.	

3.3.2 *Home Occupations* - The intent of a home occupation is to permit limited nonresidential activity in a residential dwelling, provided such activity does not impact or detract from the residential character of the neighborhood or building. A home occupation is permitted in all Sub Zones provided the standards in Section 10.0 - Home Occupations in the West Springfield Zoning Ordinance are met.

3.3.3 *Farmers Market* - A farmer's market selling locally and regionally-produced goods, seasonal or otherwise, shall be permitted on the premises in either a permanent structure or in temporary accommodations in a structure or lot within the MNBZ and MUEZ. A simplified site plan per Section 1 shall be required for approval and may come either as part of or separate from another development site plan application.

3.3.4 *Mobile Food Vendors* - Reserved

***Commentary**: Mobile Food Vendors should be considered in the MNBZ and MUEZ. These can be defined as self-contained mobile units, independent with respect to water, sewer and power utilities, capable of moving or being moved. They are typically used for selling foods and possibly fresh fruits or vegetables. Mobile Food Vending units are very effective in activating public spaces such as sidewalks and parks where appropriate. They also provide small business opportunities for entrepreneurs that may not be able to afford a permanent restaurant space but can build a customer base with minimal investment. In the Merrick Neighborhood, there are a limited number of food establishments and mobile food vendors may provide an interim step to more restaurants and diversity in the neighborhood.*

Section 4 – Building and Lot Type Standards

***Commentary:** The scale and layout of the Merrick District is distinct from all other districts in Town, and future construction should ensure that traditional development patterns are maintained. A small but*

highly visible percentage of existing buildings and lots in the Merrick District are not consistent with the prevailing and preferred dimensional and density characteristics, and current zoning requirements serve as an impediment to constructing new buildings that would be in keeping with the desired character of neighborhood. The proposed Building and Lot Type Standards below are consistent with the desired development patterns as illustrated on the Merrick District Conceptual Revitalization Plan.

4.1. Intent

Building and Lot Type Standards primarily regulate the way that buildings in the Merrick District address and complement each other as well as streets and civic gathering areas. Building and Lot Types are permitted by subdistrict in the Regulating Plan.

4.2. Permitted Building and Lot Types

There are ten (10) permitted Building and Lot Types in the Merrick District as identified below:

- 4.2.1 Detached Dwelling (1 and 2 Family)
- 4.2.2 Cottages and Cottage Courts (1 Family)
- 4.2.3 Carriage House (Commercial and 1 Family)
- 4.2.4 Multi-Family Building (Apartment and Condominium between 3 and 12 dwelling units)
- 4.2.5 Rowhouse or Townhouse (Attached Single Family Dwelling)
- 4.2.6 Live/Work Unit (Commercial and 1 Family)
- 4.2.7 Small to Medium Neighborhood Mixed Use Building
- 4.2.8 Large Neighborhood Mixed Use Building
- 4.2.9 Flex Building for Commercial and Light Industrial Use
- 4.2.10 Community Building and Spaces

Specific building and lot types are allowed within the Merrick District as identified on Figure 1 below. This figure indicates the building and site types permitted with a short description of the intent, applicable subdistricts, design standards, and performance criteria for each. Character examples are provided for each building and site type for illustrative purposes only. Except as noted, parking spaces are provided on-street, to the rear of the lot, or as otherwise provided in Section 5.5 below. Specific building lot types are allowed within the corresponding Merrick Zoning Subdistricts as identified in Figure 1 below.

FIGURE 1.1 - BUILDING AND LOT STANDARDS IN THE MERRICK DISTRICT

BUILDING TYPE 1 - DETACHED HOUSE

Description:

One (1) and two (2) family dwelling units generally consistent with the prevailing and traditional residential development patterns of the Merrick Neighborhood. Building mass should be articulated to reduce the overall scale and the primary building façade should be oriented to the street with appropriate secondary building elements such as porches and bay windows. Walkways should connect the building entry to public sidewalks and parking areas. Landscaping should be used to define the street edge, buffer parking areas and add interest to open spaces. Renovations should preserve the street facing facade of the home, and additions and expansions should be located behind the front elevation of the home and placed to the side and rear of the main body of the house as secondary elements in scale and massing.

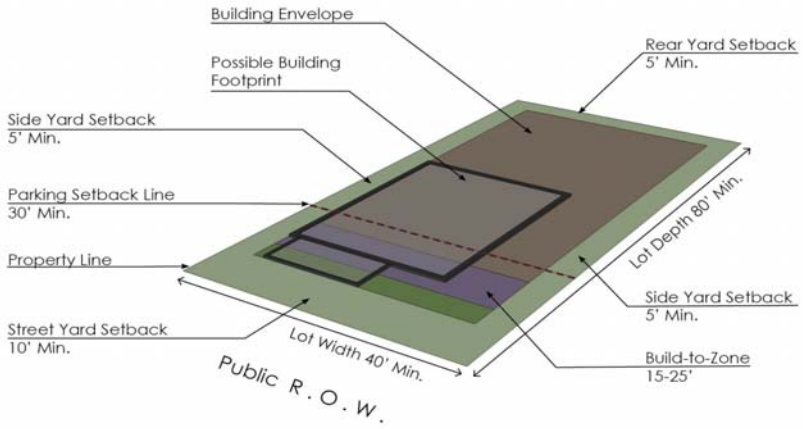
Character Examples



LOT AND BUILDING PLACEMENT STANDARDS

Lot Standards		
L1	Lot Frontage (in Feet)	40 Min.
L2	Lot Depth (in Feet)	80 Min.
L3	Lot Area (in Square Feet)	5,000 Min./2 Family D.U.
Additional Requirements:		
The maximum number of dwelling units per building: 3 in the MNRZ; 8 in the MNRZ Frontage Zone and MNBZ; and 12 in the MUEZ Frontage Zone		
Building Placement on Lot		
L4	Street Yard Setback (in Feet)	10 Min.
L5	Side Yard Setback (in Feet)	5 Min.
L6	Rear Yard Setback (in Feet)	5 Min.
L7	Side-Street Yard (Feet on Corner Lots)	20 Min.
L8	Build-To-Zone (in Feet)	15 Min./25 Max.
L9	Build-To-Zone Occupancy (%)	30% Min.
Parking Placement on Lot (See Parking Standards in Section 6)		
L10	Front Parking Setback (in Feet)	30 Min.
L11	Side and Rear Parking Setback (in Feet)	5 Min.
Additional Requirements:		
On-Site Parking is not permitted within the front yard setback and shall be located a minimum of 30 feet from the street R-O-W or 5 feet behind the street facing elevation of a building whether existing or new whichever is greater.		
Open Space on Lot (Refer to Open Space Requirements in Section 7)		
O1	Open Space as % of Total Lot Area	15% Min.
O2	Permitted Open Space Types	See Section 7

Graphic Illustration



Detached House - Lot Layout Diagram

BUILDING STANDARDS

Permitted Building Types by Zoning District		
	MNRZ	P
	MNBZ	N
	MUEZ	N
	MNCZ	N
Placement of Specific Uses (Refer to Section 3)		
GFL	Ground Floor Limitations	Residential
FZ	Frontage Zones	See Reg. Plan
Building Height		
B1	Primary Building Height (Floors/Feet)	1.5 (22) Min. /3 (40) Max.
B2	Ground Floor Height (in Feet)	N/A
B3	Upper Floor Height (in Feet)	N/A
B4	Residential Finished Floor Elevation (in Inches)	18 Min.
B5	Roof Pitch (Rise:Run)	4:12 Min./18:12 Max.
	Flat Roofs Permitted (Yes or No)	No
STREET ACTIVATION STANDARDS		
Transparency and Articulation		
B6	Ground-Floor Transparency (% of façade)	N/A
B7	Upper-Floor Transparency (% of façade)	N/A
B8	Front Wall Length Without Offset (in Feet)	N/A
B9	Front Wall Offset Minimum Length/Depth (in Feet)	N/A
Building Entrances		
B10	Street Facing Entrance Required (Yes or No)	Yes
B11	Entrance Spacing (in Feet)	N/A
Allowed Building Secondary Elements (See Section 4)		
E1	Public Activity Zone Encroachments	No
E2	Semi-Public and Private Encroachments	Yes

Graphic Illustration

Detached House - Illustrated Diagram

FIGURE 1.2 - BUILDING AND LOT STANDARDS IN THE MERRICK DISTRICT

BUILDING TYPE 2 - COTTAGE COURTS

Description:

A single-family detached dwelling of 1,000 square feet or less and a maximum height of 1 ½ stories. Up to two (2) cottages are permitted on a standard lot. Individual cottages typically occupy the center area of their lots with setbacks on all side and often have an accessory building in the rear yard. Cottage courts include three (3) or more dwelling units and are typically oriented around a common open space with shared access, parking and accessory buildings located behind the primary dwelling units.

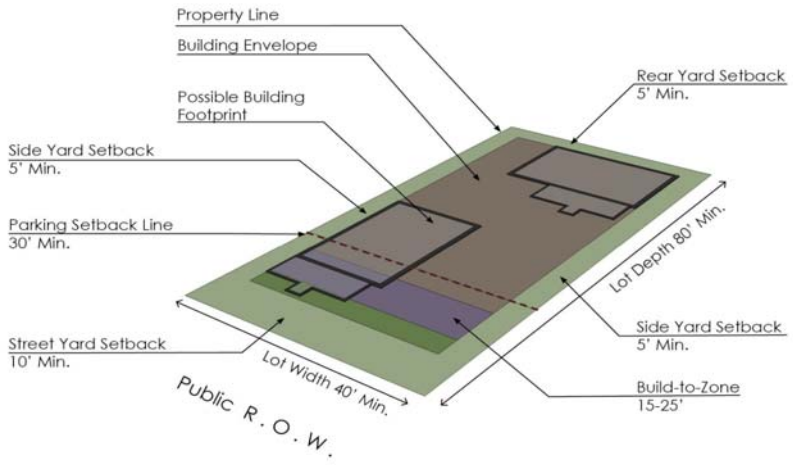
Character Examples



LOT AND BUILDING PLACEMENT STANDARDS

Lot Standards		
L1	Lot Frontage (in Feet)	40 Min.
L2	Lot Depth (in Feet)	80 Min.
L3	Lot Area (in Square Feet)	5,000 Min.*
Additional Requirements:		
Two (2) cottages are permitted on a standard lot. An additional 1,800 s.f. of lot area is required per additional cottage up to a maximum of 12 dwellings per lot.		
Cottage Courts must be centered on a common open space and provide for shared parking and access.		
Building Placement on Lot		
L4	Front Yard Setback (in Feet)	10 Min.
L5	Side Yard Setback (in Feet)	10 Min.
L6	Rear Yard Setback (in Feet)	5 Min.
L7	Side-Street Yard (Feet on Corner Lots)	20 Min.
L8	Build-To-Zone (in Feet)	15 Min./25 Max.
L9	Build-To-Zone Occupancy (%)	N/A
Parking Placement on Lot (See Parking Standards in Section 6)		
L10	Front Parking Setback (in Feet)*	30 Min.
L11	Side and Rear Parking Setback (in Feet)	5 Min.
Additional Requirements:		
On-Site Parking is not permitted within the front yard setback and shall be located a minimum of 30 feet from the street R-O-W or 5 feet behind the street facing elevation of a building whether existing or new whichever is greater.		
Open Space on Lot (Refer to Open Space Requirements in Section 7)		
O1	Open Space on Site (% of Total Lot Area)	15% Min.
O2	Permitted Open Space Types	See Section 7

Graphic Illustration



Cottages - Lot Layout Diagram

BUILDING STANDARDS

Permitted Zoning Types by Zoning District		
	MNRZ	P
	MNBZ	N
	MUEZ	N
	MNCZ	N
Placement of Specific Uses (Refer to Section 3)		
GFL	Ground Floor Limitations	Residential
FZ	Frontage Zones	See Reg. Plan
Building Height		
B1	Primary Building Height (Floors/Feet)	1.5 (20) Max.
B2	Ground Floor Height (in Feet)	N/A
B3	Upper Floor Height (in Feet)	N/A
B4	Residential Finished Floor Elevation (in Inches)	18 Min.
B5	Roof Pitch (Rise:Run)	4:12 Min./18:12 Max.
	Flat Roofs Permitted (Yes or No)	No
STREET ACTIVATION STANDARDS		
Transparency and Articulation		
B6	Ground-Floor Transparency (% of façade)	N/A
B7	Upper-Floor Transparency (% of façade)	N/A
B8	Front Wall Length Without Offset (in Feet)	N/A
B9	Front Wall Offset Minimum Length/Depth (in Feet)	N/A
Building Entrances		
B10	Street Facing Entrance Required (Yes or No)	No
B11	Entrance Spacing (in Feet)	N/A
Allowed Building Secondary Elements (See Section 4)		
E1	Public Activity Zone Encroachments	No
E2	Semi-Public and Private Encroachments	Yes

Graphic Illustration

Cottages - Illustrated Diagram

FIGURE 1.3 - BUILDING AND LOT STANDARDS IN THE MERRICK DISTRICT

BUILDING TYPE 3 - CARRIAGE HOUSE

Description:

An accessory building either attached or detached from the primary house and commonly used for the storage of vehicles and household items. The carriage house may also be used for an accessory dwelling unit and a home occupation and provided for in the Merrick District regulations.

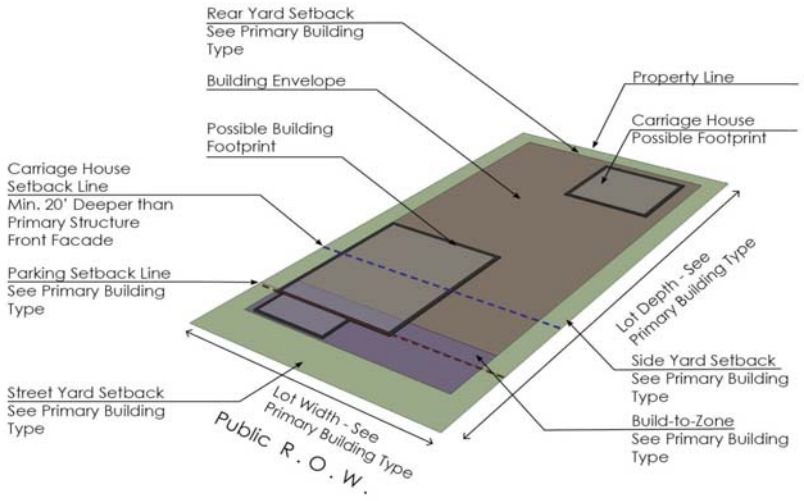
Character Examples



LOT AND BUILDING PLACEMENT STANDARDS

Lot Standards		
L1	Lot Frontage (in Feet)	See Primary Building Type
L2	Lot Depth (in Feet)	See Primary Building Type
L3	Lot Area (in Square Feet)	See Primary Building Type
Additional Requirements:		
The maximum number of dwelling units per Building: 3 in the MNRZ; 8 in the MNRZ Frontage Zone and MNBZ; and 12 in the MUEZ Frontage Zone		
Building Placement on Lot		
L4	Front Yard Setback (in Feet)	See Primary Building Type
L5	Side Yard Setback (in Feet)	See Primary Building Type
L6	Rear Yard Setback (in Feet)	See Primary Building Type
L7	Side-Street Yard (Feet on Corner Lots)	See Primary Building Type
L8	Build-To-Zone (in Feet)	A minimum of 20 feet deeper than the street facing façade of the primary structure
L9	Build-To-Zone Occupancy (%)	N/A
Parking Placement on Lot (See Parking Standards in Section 6)		
L10	Front Parking Setback (in Feet)*	20 Min.
L11	Side and Rear Parking Setback (in Feet)	5 Min.
Additional Requirements:		
On-Site Parking is not permitted within the front yard setback and shall be located a minimum of 30 feet from the street R-O-W or 5 feet behind the street facing elevation of a building whether existing or new whichever is greater.		
Open Space on Lot (Refer to Open Space Requirements in Section 7)		
O1	Open Space on Site (% of Total Lot Area)	15% Min.
O2	Permitted Open Space Types	See Section 7

Graphic Illustration



Carriage House - Lot Layout Diagram

BUILDING STANDARDS

Permitted Zoning Types by Zoning District		
	MNRZ	P
	MNBZ	P
	MUEZ	N
	MNCZ	N
Placement of Specific Uses (Refer to Section 3)		
GFL	Ground Floor Limitations	Residential, Home Occupation
FZ	Frontage Zones	See Reg. Plan
Building Height		
B1	Primary Building Height (Floors/Feet)	1.5 (20) Min./2.5 (35) Max.
B2	Ground Floor Height (in Feet)	N/A
B3	Upper Floor Height (in Feet)	N/A
B4	Residential Finished Floor Elevation (in Inches)	N/A
B5	Roof Pitch (Rise:Run)	4:12 Min./18:12 Max.
	Flat Roofs Permitted (Yes or No)	No
STREET ACTIVATION STANDARDS		
Transparency and Articulation		
B6	Ground-Floor Transparency (% of façade)	N/A
B7	Upper-Floor Transparency (% of façade)	N/A
B8	Front Wall Length Without Offset (in Feet)	N/A
B9	Front Wall Offset - Minumum Length/Depth (in Feet)	N/A
Building Entrances		
B10	Street Facing Entrance Required (Yes or No)	No
B11	Entrance Spacing (in Feet)	N/A
Allowed Building Secondary Elements (See Section 4)		
E1	Public Activity Zone Encroachments	No
E2	Semi-Public and Private Encroachments	Yes

Graphic Illustration

Carriage House - Illustrated Diagram

FIGURE 1.4 - BUILDING AND LOT STANDARDS IN THE MERRICK DISTRICT

BUILDING TYPE 4 - MULTI-FAMILY BUILDING

Description:

A lot located and designed to accommodate multiple dwellings above or beside each other in a building that occupies most of its lot width and is placed close to the sidewalk. This may include apartment and condominium building types of between three (3) and twelve (12) attached dwelling units with common access areas. Dwelling units may be in the form of ownership, rental or a combination of each.

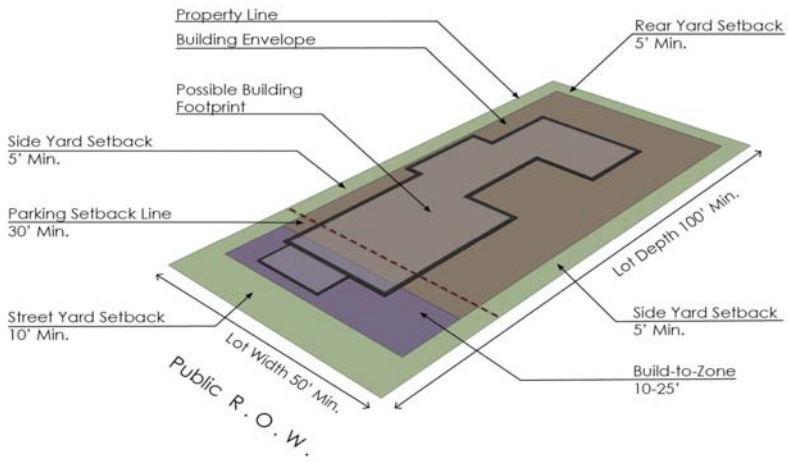
Character Examples



LOT AND BUILDING PLACEMENT STANDARDS

Lot Standards		
L1	Lot Frontage (in Feet)	50 Min.
L2	Lot Depth (in Feet)	100 Min.
L3	Lot Area (in Square Feet)	5,000 for first 2 dwelling units and 2,500 per each additional D.U.
Additional Requirements:		
The maximum number of dwelling units per Building: 3 in the MNRZ; 8 in the MNRZ Frontage Zone and MNBZ; and 12 in the MUEZ Frontage Zone		
Building Placement on Lot		
L4	Front Yard Setback (in Feet)	10 Min.
L5	Side Yard Setback (in Feet)	10 Min.
L6	Rear Yard Setback (in Feet)	5 Min.
L7	Side-Street Yard (Feet on Corner Lots)	20 Min.
L8	Build-To-Zone (in Feet)	15 Min./25 Max.
L9	Build-To-Zone Occupancy (%)	30% Min.
Parking Placement on Lot (See Parking Standards in Section 6)		
L10	Front Parking Setback (in Feet)*	30 Min.
L11	Side and Rear Parking Setback (in Feet)	5 Min.
Additional Requirements:		
On-Site Parking is not permitted within the front yard setback and shall be located a minimum of 30 feet from the street R-O-W or 5 feet behind the street facing elevation of a building whether existing or new whichever is greater.		
Open Space on Lot (Refer to Open Space Requirements in Section 7)		
O1	Open Space on Site (% of Total Lot Area)	15% Min.
O2	Permitted Open Space Types	See Section 7

Graphic Illustration



MultiFamily Building - Lot Layout Diagram

BUILDING STANDARDS

Permitted Zoning Types by Zoning District		
	MNRZ	P Up to 3 D.U./Lot
	MNBZ	P
	MUEZ	P in Frontage Zone
	MNCZ	N
Placement of Specific Uses (Refer to Section 3)		
GFL	Ground Floor Limitations	Residential
FZ	Frontage Zones	See Reg. Plan
Building Height		
B1	Primary Building Height (Floors/Feet)	2 (22) Min. /3 (35) Max.
B2	Ground Floor Height (in Feet)	N/A
B3	Upper Floor Height (in Feet)	N/A
B4	Residential Finished Floor Elevation (in Inches)	18 Min.
B5	Roof Pitch (Rise:Run)	4:12 Mininimum
	Flat Roofs Permitted (Yes or No)	No
STREET ACTIVATION STANDARDS		
Transparency and Articulation		
B6	Ground-Floor Transparency (% of façade)	N/A
B7	Upper-Floor Transparency (% of façade)	N/A
B8	Front Wall Length Without Offset (in Feet)	50 Max.
B9	Front Wall Offset - Minimum Length/Depth (in Feet)	10/5
Building Entrances		
B10	Street Facing Entrance Required (Yes or No)	Yes
B11	Entrance Spacing (in Feet)	80 Max
Allowed Building Secondary Elements (See Section 4)		
E1	Public Activity Zone Encroachments	No
E2	Semi-Public and Private Encroachments	Yes

Graphic Illustration

MultiFamily Building - Illustrated Diagram

FIGURE 1.5 - BUILDING AND LOT STANDARDS IN THE MERRICK DISTRICT

BUILDING TYPE 5 - ROWHOUSES AND TOWNHOUSES

Description:

Rowhouses are horizontally attached single family dwelling units. A lot located and designed to accommodate a building with common walls on both side lot lines and an enclosed private yard or garden space to the rear. The primary access faces the streetyard and is elevated above the sidewalk with a stoop, porch or landing.

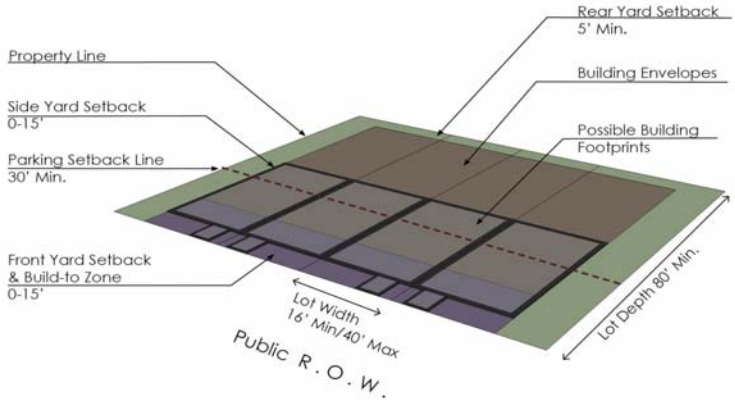
Character Examples



LOT AND BUILDING PLACEMENT STANDARDS

Lot Standards		
L1	Lot Frontage (in Feet)	16 min./40 max.
L2	Lot Depth (in Feet)	50 Min.
L3	Lot Area (in Square Feet)	1,800 Min./D.U.
Additional Requirements:		
The maximum number of dwelling units per Building: 3 in the MNRZ; 8 in the MNRZ Frontage Zone and MNBZ; and 12 in the MUEZ Frontage Zone		
Building Placement on Lot		
L4	Front Yard Setback (in Feet)	0 Min./15 Max.
L5	Side Yard Setback (in Feet)	0 Min./15 Max.
L6	Rear Yard Setback (in Feet)	5 Min.
L7	Side-Street Yard (Feet on Corner Lots)	5 Min./15 Max.
L8	Build-To-Zone (in Feet)	0 Min./15 Max.
L9	Build-To-Zone Occupancy (%)	35% Min.
Parking Placement on Lot (See Parking Standards in Section 6)		
L10	Front Parking Setback (in Feet)*	20 Min.
L11	Side and Rear Parking Setback (in Feet)	5 Min.
Additional Requirements:		
On-Site Parking is not permitted within the front yard setback and shall be located a minimum of 30 feet from the street R-O-W or 5 feet behind the street facing elevation of a building whether existing or new whichever is greater.		
Open Space on Lot (Refer to Open Space Requirements in Section 7)		
O1	Open Space on Site (% of Total Lot Area)	15% Min.
O2	Permitted Open Space Types	See Section 7

Graphic Illustration



Townhouses - Lot Layout Diagram

BUILDING STANDARDS

Permitted Zoning Types by Zoning District		
	MNRZ	SP in Frontage Zone
	MNBZ	SP in Frontage Zone
	MUEZ	P in Frontage Zone
	MNCZ	N
Placement of Specific Uses (Refer to Section 3)		
GFL	Ground Floor Limitations	Residential, Commercial
FZ	Frontage Zones	See Reg. Plan
Building Height		
B1	Primary Building Height (Floors/Feet)	2 (22) Min./3 (35) Max.
B2	Ground Floor Height (in Feet)	N/A
B3	Upper Floor Height (in Feet)	N/A
B4	Residential Finished Floor Elevation (in Inches)	18 Min.
B5	Roof Pitch (Rise:Run)	18:12 Max.
	Flat Roofs Permitted (Yes or No)	Yes
STREET ACTIVATION STANDARDS		
Transparency and Articulation		
B6	Ground-Floor Transparency (% of façade)	N/A
B7	Upper-Floor Transparency (% of façade)	N/A
B8	Front Wall Length Without Offset (in Feet)	50 Max.
B9	Front Wall Offset Length and Depth (in Feet)	10/5
Building Entrances		
B10	Street Facing Entrance Required (Yes or No)	Yes
B11	Entrance Spacing (in Feet)	50 Max.
Allowed Building Secondary Elements (See Section 4)		
E1	Public Activity Zone Encroachments	No
E2	Semi-Public and Private Encroachments	Yes

Graphic Illustration

Townhouses - Illustrated Diagram

FIGURE 1.6 - BUILDING AND LOT STANDARDS IN THE MERRICK DISTRICT

BUILDING TYPE 6 - LIVE/WORK UNIT

Description:

A lot located and designed to accommodate an attached or detached building with residential uses, commercial uses, or a combination of the two within individually occupied live-work units, all of which may occupy any story of the building.

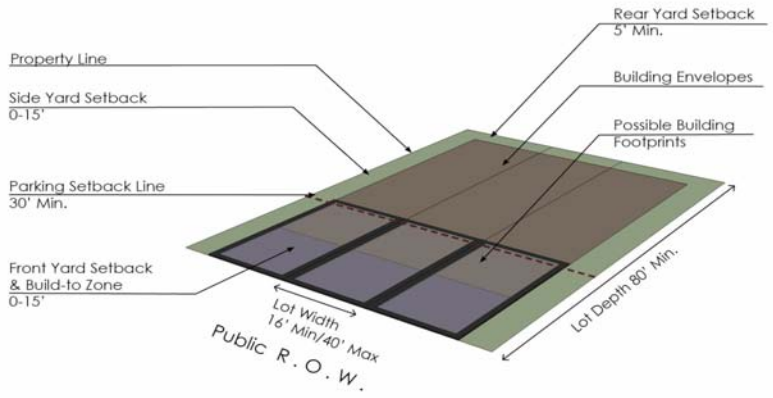
Character Examples



LOT AND BUILDING PLACEMENT STANDARDS

Lot Standards		
L1	Lot Frontage (in Feet)	16 Min./40 Max.
L2	Lot Depth (in Feet)	50 Min.
L3	Lot Area (in Square Feet)	1,800/D.U.
Additional Requirements:		
The maximum number of dwelling units per Building: 3 in the MNRZ; 8 in the MNRZ Frontage Zone and MNBZ; and 12 in the MUEZ Frontage Zone		
Building Placement on Lot		
L4	Front Yard Setback (in Feet)	0 Min./15 Max.
L5	Side Yard Setback (in Feet)	0 Min./15 Max.
L6	Rear Yard Setback (in Feet)	5 Min.
L7	Side-Street Yard (Feet on Corner Lots)	5 Min./15 Max.
L8	Build-To-Zone (in Feet)	0 Min./15 Max.
L9	Build-To-Zone Occupancy (%)	35% Min.
Parking Placement on Lot (See Parking Standards in Section 6)		
L10	Front Parking Setback (in Feet)	20 Min.
L11	Side and Rear Parking Setback (in Feet)	5 Min.
Additional Requirements:		
On-Site Parking is not permitted within the front yard setback and shall be located a minimum of 30 feet from the street R-O-W or 5 feet behind the street facing elevation of a building whether existing or new whichever is greater.		
Open Space on Lot (Refer to Open Space Requirements in Section 7)		
O1	Open Space on Site (% of Total Lot Area)	15% Min.
O2	Permitted Open Space Types	See Section 7

Graphic Illustration



Live-Work Unit - Lot Layout Diagram

BUILDING STANDARDS

Permitted Zoning Types by Zoning District		
	MNRZ	SP in Frontage Zone
	MNBZ	P
	MUEZ	P in Frontage Zone
	MNCZ	N
Placement of Specific Uses (Refer to Section 3)		
GFL	Ground Floor Limitations	Residential, Commercial
FZ	Frontage Zones	See Reg. Plan
Building Height		
B1	Primary Building Height (Floors/Feet)	2 (22) Min./3 (35) Max.
B2	Ground Floor Height (in Feet)	10 Min./14 Max.
B3	Upper Floor Height (in Feet)	9 Min.
B4	Residential Finished Floor Elevation (in Inches)	N/A
B5	Roof Pitch (Rise:Run)	18:12 Max.
	Flat Roofs Permitted (Yes or No)	Yes
STREET ACTIVATION STANDARDS		
Transparency and Articulation		
B6	Ground-Floor Transparency (% of façade)	30% Min./70 Max.
B7	Upper-Floor Transparency (% of façade)	N/A
B8	Front Wall Length Without Offset (in Feet)	50 Max.
B9	Front Wall Offset Length and Depth (in Feet)	10/5
Building Entrances		
B10	Street Facing Entrance Required (Yes or No)	Yes
B11	Entrance Spacing (in Feet)	50 Max.
Allowed Building Secondary Elements (See Section 4)		
E1	Public Activity Zone Encroachments	No
E2	Semi-Public and Private Encroachments	Yes

Live-Work Unit - Illustrated Diagram

FIGURE 1.7 - BUILDING AND LOT STANDARDS IN THE MERRICK DISTRICT

BUILDING TYPE 7 - SMALL TO MEDIUM NEIGHBORHOOD MIXED-USE BUILDING

Description:

This building and site type is intended to accommodate a variety of uses, including residential, on upper stories above various commercial uses on the ground floor level. The commercial ground floor addresses the street through the orientation of primary façade, display windows, and outdoor activity zones. The building clearly establishes the location of entries for each use. Primary building façade is oriented to the street with walkways connecting the building entry to public sidewalks and parking areas. Landscaping is used to define street edge and buffer parking areas.

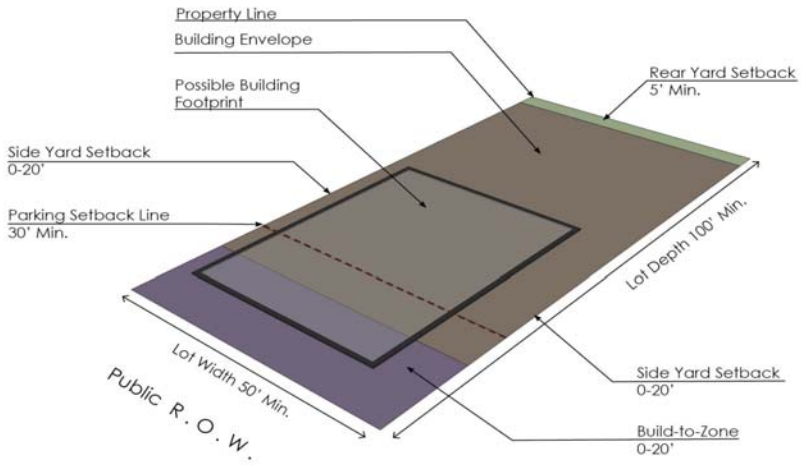
Character Examples



LOT AND BUILDING PLACEMENT STANDARDS

Lot Standards		
L1	Lot Frontage (in Feet)	50 Min.
L2	Lot Depth (in Feet)	100 Min.
L3	Lot Area (in Square Feet)	5,000 Min.
Additional Requirements:		
The maximum number of dwelling units per Building: 3 in the MNRZ; 8 in the MNRZ Frontage Zone and MNBZ; and 12 in the MUEZ Frontage Zone		
Building Placement on Lot		
L4	Front Yard Setback (in Feet)	NA
L5	Side Yard Setback (in Feet)	0 Min./20 Max.
L6	Rear Yard Setback (in Feet)	5 Min.
L7	Side-Street Yard (Feet on Corner Lots)	20 Min.
L8	Build-To-Zone (in Feet)	0 Min./25 Max.
L9	Build-To-Zone Occupancy (%)	50% Min.
Parking Placement on Lot (See Parking Standards in Section 6)		
L10	Front Parking Setback (in Feet)*	30 Min.
L11	Side and Rear Parking Setback (in Feet)	0 Min.
Additional Requirements:		
On-Site Parking is not permitted within the front yard setback and shall be located a minimum of 30 feet from the street R-O-W or 5 feet behind the street facing elevation of a building whether existing or new whichever is greater.		
Open Space on Lot (Refer to Open Space Requirements in Section 7)		
O1	Open Space on Site (% of Total Lot Area)	0% Min./15% Max.
O2	Permitted Open Space Types	See Section 7

Graphic Illustration

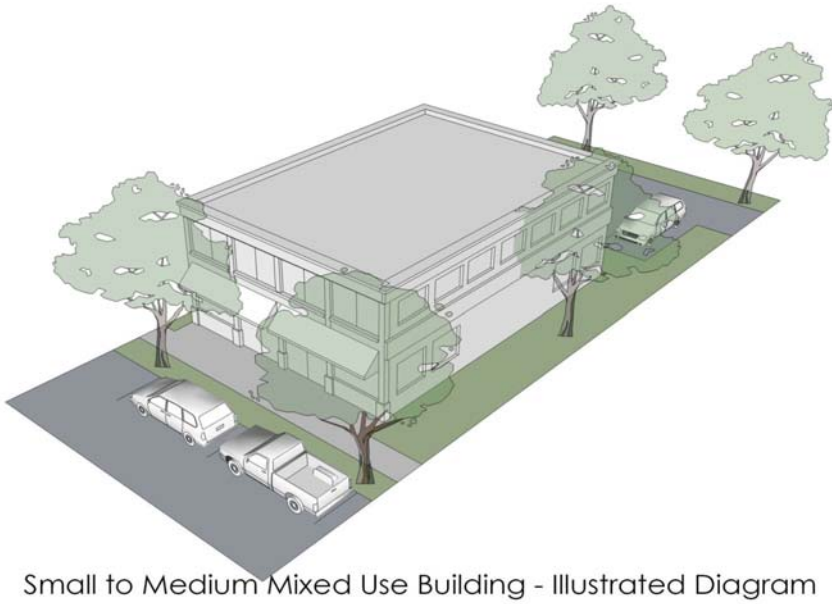


Small to Medium Mixed Use Building - Lot Layout Diagram

BUILDING STANDARDS

Permitted Zoning Types by Zoning District		
	MNRZ	N
	MNBZ	P
	MUEZ	P
	MNCZ	N
Placement of Specific Uses (Refer to Section 3)		
GFL	Ground Floor Limitations	Commercial
FZ	Frontage Zones	See Reg. Plan
Building Height		
B1	Primary Building Height (Floors/Feet)	1 (16) Min./3 (35) Max.
B2	Ground Floor Height (in Feet)	12 Min.
B3	Upper Floor Height (in Feet)	9 Min.
B4	Finished Ground Floor Elevation (in Inches)	0 Min./12 Max.
B5	Roof Pitch (Rise:Run)	14:12 Max.
	Flat Roofs Permitted (Yes or No)	Yes
STREET ACTIVATION STANDARDS		
Transparency and Articulation		
B6	Ground-Floor Transparency (% of façade)	40% Min./90% Max.
B7	Upper-Floor Transparency (% of façade)	30% Min./90% Max.
B8	Front Wall Length Without Offset (in Feet)	75 Max.
B9	Front Wall Offset - Min. Length/Depth (in Feet)	10/5
Building Entrances		
B10	Street Facing Entrance Required (Yes or No)	Yes
B11	Entrance Spacing (in Feet)	75 Max.
Allowed Building Secondary Elements (See Section 4)		
E1	Public Activity Zone Encroachments	Yes
E2	Semi-Public and Private Encroachments	Yes

Graphic Illustration



Small to Medium Mixed Use Building - Illustrated Diagram

FIGURE 1.8 - BUILDING AND LOT STANDARDS IN THE MERRICK DISTRICT

BUILDING TYPE 8 - LARGE MIXED USE BUILDING

Description:

This building and site type is intended to accommodate a variety of uses, including residential, on upper stories above various commercial uses on the ground floor level. The commercial ground floor addresses the street through the orientation of primary façade, display windows, and outdoor activity zones. The building clearly establishes the location of entries for each use. Primary building façade is oriented to the street with walkways connecting the building entry to public sidewalks and parking areas. Landscaping is used to define street edge and buffer parking areas.

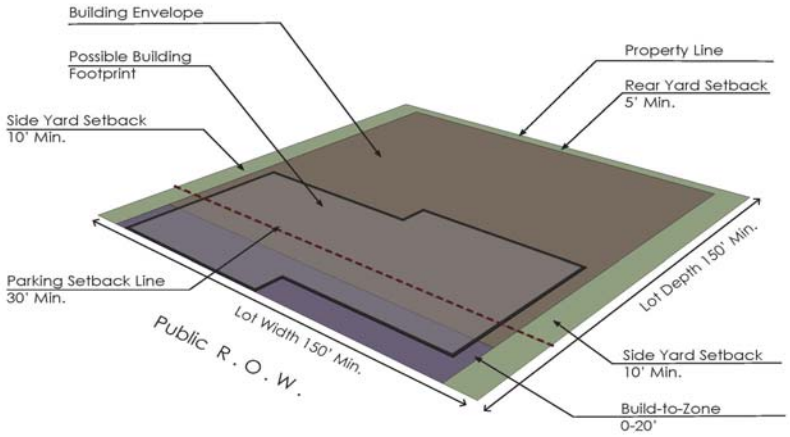
Character Examples



LOT AND BUILDING PLACEMENT STANDARDS

Lot Standards		
L1	Lot Frontage (in Feet)	150 Min.
L2	Lot Depth (in Feet)	150 Min.
L3	Lot Area (in Square Feet)	20,000 Min.
Additional Requirements:		
The maximum number of dwelling units per Building: 3 in the MNRZ; 8 in the MNRZ Frontage Zone and MNBZ; and 12 in the MUEZ Frontage Zone		
Building Placement on Lot		
L4	Front Yard Setback (in Feet)	NA
L5	Side Yard Setback (in Feet)	0 Min./20 Max.
L6	Rear Yard Setback (in Feet)	5 Min.
L7	Side-Street Yard (Feet on Corner Lots)	20 Min.
L8	Build-To-Zone (in Feet)	0 Min./25 Max.
L9	Build-To-Zone Occupancy (%)	50% Min.
Parking Placement on Lot (See Parking Standards in Section 6)		
L10	Front Parking Setback (in Feet)*	30 Min.
L11	Side and Rear Parking Setback (in Feet)	0 Min.
Additional Requirements:		
On-Site Parking is not permitted within the front yard setback and shall be located a minimum of 30 feet from the street R-O-W or 5 feet behind the street facing elevation of a building whether existing or new whichever is greater.		
Open Space on Lot (Refer to Open Space Requirements in Section 7)		
O1	Open Space on Site (% of Total Lot Area)	0% Min./15% Max.
O2	Permitted Open Space Types	See Section 7

Graphic Illustration



Large Mixed Use Building - Lot Layout Diagram

BUILDING STANDARDS

Permitted Zoning Types by Zoning District		
	MNRZ	N
	MNBZ	P
	MUEZ	P in Frontage Zone
	MNCZ	N
Placement of Specific Uses (Refer to Section 3)		
GFL	Ground Floor Limitations	Commercial
FZ	Frontage Zones	See Reg. Plan
Building Height		
B1	Primary Building Height (Floors/Feet)	2 (22) Min./4 (48) Max.
B2	Ground Floor Height (in Feet)	12 Min.
B3	Upper Floor Height (in Feet)	9 Min.
B4	Residential Finished Floor Elevation (in Inches)	N/A
B5	Roof Pitch (Rise:Run)	8:12 Max.
	Flat Roofs Permitted (Yes or No)	Yes
STREET ACTIVATION STANDARDS		
Transparency and Articulation		
B6	Ground-Floor Transparency (% of façade)	40% Min./90% Max.
B7	Upper-Floor Transparency (% of façade)	NA
B8	Front Wall Length Without Offset (in Feet)	100 Max.
B9	Front Wall Offset - Minimum Length/Depth (in Feet)	20/5
Building Entrances		
B10	Street Facing Entrance Required (Yes or No)	No
B11	Entrance Spacing (in Feet)	100 Max.
Allowed Building Secondary Elements (See Section 4)		
E1	Public Activity Zone Encroachments	Yes
E2	Semi-Public and Private Encroachments	Yes

Graphic Illustration

Large Mixed Use Building - Illustrated Diagram

FIGURE 1.9 - BUILDING AND LOT STANDARDS IN THE MERRICK DISTRICT

BUILDING TYPE 9 - FLEX BUILDING

Description:

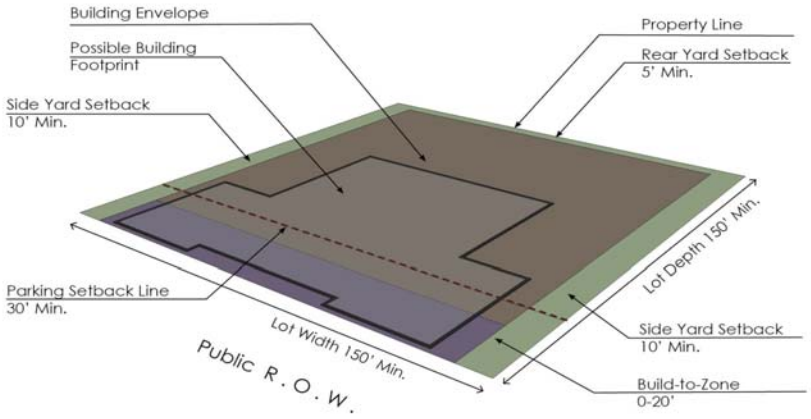
A lot located and designed to accommodate a large footprint commercial and light industrial use building. Large commercial and light industrial formats are integrated into a flexible building which conceals large expanses of blank walls and faces from the street with ample windows and doors opening onto the sidewalk. Flex buildings are also used to provide affordable space to small and large format business enterprises. Front yards are well landscaped parking lots are typically to the side and rear of the primary buildng and screen or partially landscaped.

Character Examples

LOT AND BUILDING PLACEMENT STANDARDS

Lot Standards		
L1	Lot Frontage (in Feet)	150 Min.
L2	Lot Depth (in Feet)	150 Min.
L3	Lot Area (in Square Feet)	20,000 Min.
Additional Requirements:		
The maximum number of dwelling units per Building: 3 in the MNRZ; 8 in the MNRZ Frontage Zone and MNBZ; and 12 in the MUEZ Frontage Zone		
Building Placement on Lot		
L4	Front Yard Setback (in Feet)	NA
L5	Side Yard Setback (in Feet)	10 Min./50 Max.
L6	Rear Yard Setback (in Feet)	5 Min.
L7	Side-Street Yard (Feet on Corner Lots)	20 Min.
L8	Build-To-Zone (in Feet)	0 Min./20 Max.
L9	Build-To-Zone Occupancy (%)	30% Min.
Parking Placement on Lot (See Parking Standards in Section 6)		
L10	Front Parking Setback (in Feet)	50 Min.
L11	Side and Rear Parking Setback (in Feet)	0 Min.
Additional Requirements:		
On-Site Parking is not permitted within the front yard setback and shall be located a minimum of 30 feet from the street R-O-W or 5 feet behind the street facing elevation of a building whether existing or new whichever is greater.		
Open Space on Lot (Refer to Open Space Requirements in Section 7)		
O1	Open Space on Site (% of Total Lot Area)	15% Min.
O2	Permitted Open Space Types	See Section 7

Graphic Illustrations



Flex Building (Comm. and Light Ind. Use) - Lot Layout

BUILDING STANDARDS

Permitted Zoning Types by Zoning District		
	MNRZ	N
	MNBZ	SP
	MUEZ	P
	MNCZ	N
Placement of Specific Uses (Refer to Section 3)		
GFL	Ground Floor Limitations	Commercial, Light Industrial
FZ	Frontage Zones	See Reg. Plan
Building Height		
B1	Primary Building Height (Floors/Feet)	1 (12) Min./3 (40) Max.
B2	Ground Floor Height (in Feet)	N/A
B3	Upper Floor Height (in Feet)	10 Min.
B4	Residential Finished Floor Elevation (in Inches)	N/A
B5	Roof Pitch (Rise:Run)	8:12 Max.
	Flat Roofs Permitted (Yes or No)	Yes
STREET ACTIVATION STANDARDS		
Transparency and Articulation		
B6	Ground-Floor Transparency (% of façade)	30% Min./90% Max.
B7	Upper-Floor Transparency (% of façade)	NA
B8	Front Wall Length Without Offset (in Feet)	100
B9	Front Wall Offset - Minimum Length/Depth (in Feet)	20/5
Building Entrances		
B10	Street Facing Entrance Required (Yes or No)	No
B11	Entrance Spacing (in Feet)	150 Max.
Allowed Building Secondary Elements (See Section 4)		
E1	Public Activity Zone Encroachments	No
E2	Semi-Public and Private Encroachments	Yes

Graphic Illustrations

Flex Building (Comm. and Light Ind. Use) - Illustration

FIGURE 1.10 - BUILDING AND LOT STANDARDS IN THE MERRICK DISTRICT

BUILDING TYPE 10 - COMMUNITY BUILDINGS AND SPACES

Description:

A lot located and designed to accommodate open space and buildings containing public or civic uses such as community center, education, places of worship, active and passive recreational facilities, and similar civic uses. Open spaces may be a green, square, plaza, park, playground, community garden, above-ground stormwater management area, or natural area worthy of preservation.

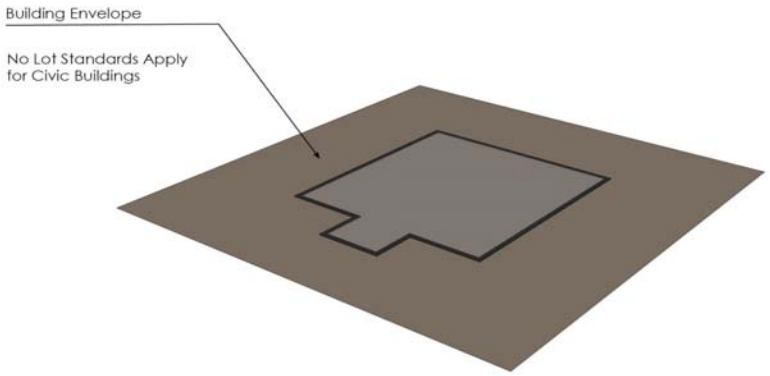
Character Examples



LOT AND BUILDING PLACEMENT STANDARDS

Lot Standards		
L1	Lot Frontage (in Feet)	N/A
L2	Lot Depth (in Feet)	N/A
L3	Lot Area (in Square Feet)	N/A
Additional Requirements:		
Building Placement on Lot		
L4	Front Yard Setback (in Feet)	N/A
L5	Side Yard Setback (in Feet)	N/A
L6	Rear Yard Setback (in Feet)	N/A
L7	Side-Street Yard (Feet on Corner Lots)	N/A
L8	Build-To-Zone (in Feet)	N/A
L9	Build-To-Zone Occupancy (%)	N/A
Parking Placement on Lot (See Parking Standards in Section 6)		
L10	Front Parking Setback (in Feet)	N/A
L11	Side and Rear Parking Setback (in Feet)	N/A
Additional Requirements:		
On-Site Parking is not permitted within the front yard setback and shall be located a minimum of 30 feet from the street R-O-W or 5 feet behind the street facing elevation of a building whether existing or new whichever is greater.		
Open Space on Lot (Refer to Open Space Requirements in Section 7)		
O1	Open Space on Site (% of Total Lot Area)	25% Min.
O2	Permitted Open Space Types	See Section 7

Graphic Illustration



Community Building - Lot Layout Diagram

BUILDING STANDARDS

Permitted Zoning Types by Zoning District		
	MNRZ	SP
	MNBZ	P
	MUEZ	P
	MNCZ	P
Placement of Specific Uses (Refer to Section 3)		
GFL	Ground Floor Limitations	Civic Uses
FZ	Frontage Zones	See Reg. Plan
Building Height		
B1	Primary Building Height (Floors/Feet)	1 (16) Min./3 (35) Max.
B2	Ground Floor Height (in Feet)	12 Min.
B3	Upper Floor Height (in Feet)	10 Min.
B4	Finished Ground Floor Elevation (in Inches)	36 Min.
B5	Roof Pitch (Rise:Run)	N/A
	Flat Roofs Permitted (Yes or No)	Yes
STREET ACTIVATION STANDARDS		
Transparency and Articulation		
B6	Ground-Floor Transparency (% of façade)	N/A
B7	Upper-Floor Transparency (% of façade)	N/A
B8	Front Wall Length Without Offset (in Feet)	N/A
B9	Front Wall Offset - Minimum Length/Depth (in Feet)	N/A
Building Entrances		
B10	Street Facing Entrance Required (Yes or No)	Yes
B11	Entrance Spacing (in Feet)	N/A
Allowed Building Secondary Elements (See Section 4)		
E1	Public Activity Zone Encroachments	N/A
E2	Semi-Public and Private Encroachments	N/A

Graphic Illustration

Community Building - Illustrated Diagram

4.3. Placement and Location of Building Types

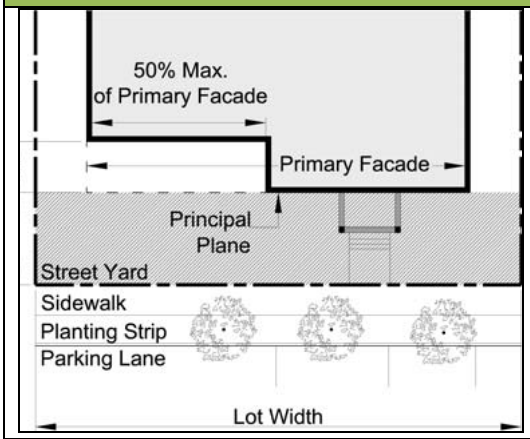
4.3.1 *Lot Requirements* - Requirements in Figure 1 include a permitted range of building lot dimensions and area requirements:

1) **Lot Width** – Distance (in feet) between side lot lines measures at the front lot line and parallel to the street right-of-way.
2) **Lot Depth** – Distance (in feet) between the front and rear lot lines.
3) **Lot Area** – Area (in square feet) of the lot.

4.3.2 *Setbacks and Build-To-Zone* - Requirements in Figure 1 include a permitted range of setbacks and build-to requirements:

1) **Front Yard** – Minimum length (in feet) from the front lot line that the foundation line of any structure or permitted encroachment. The Front Yard Setback is the area that is to remain open and free of all structures except where otherwise permitted in the Code.
2) **Side Yard** – Minimum length (in feet) from the side lot line that the foundation line of primary building may locate. No encroachment is permitted into the Side Yard except where otherwise permitted in the Code.
3) **Side-Street Yard for Corner Lots** – Minimum length (in feet) the Side-Street lot line that the foundation line of conditioned space may locate. To determine the street frontage that a primary building must front on, refer to the specific Building and Lot Type Standards in Table 1.
4) **Rear Yard** – Minimum length (in feet) from the rear lot line that the foundation line of the structure may locate. If abutting on an alley, additional setback standards are often required to be met for garage and other accessory structures.
5) **Build-To-Zone** – The maximum distance from a Yard that the outermost foundation of a primary building is permitted to sit, as measured from the back of the Front Yard and Side-Street Yard lines.
6) **Build-To-Zone Occupancy** – (Figure 2) The percentage of the Build-To-Zone that a building's façade is required to occupy. In many locations, the minimum percentage of building frontage located in the Build-To-Zone is increased along streets where a consistent building face is important in creating an attractive pedestrian environment by enclosing the street and providing an attractive streetscape.
7) **Front Parking Setback** – The minimum length (in feet) to the rear of a street-

Figure 2 – Build-To-Zone Occupation Standards



facing primary building façade that any form of vehicle parking is permitted to locate. For more information regarding the location of parking, refer to Section 6.

Commentary: *This regulation proposes minimum and maximum setbacks and build-to-zones in the Merrick Subdistricts to encourage new construction that is consistent with the prevailing and desired neighborhood character and pedestrian scale. On residential streets, the average setback should be about ten (10) feet and minimum heights about 25 feet. This ensures that new development is built with pedestrians in mind (close or up to the sidewalk and adjacent buildings). No parking is allowed within the front-yard setback but is allowed on the side and to the rear of buildings, and landscaping and streetscape amenities are focused on creating vibrant civic spaces (outdoor dining areas, vendors, displays, street tress, etc.). Along Main Street and Union Street, the proposed regulations require appropriate streetscape or pedestrian activity areas in the setback between any new building and the street line (no parking is allowed).*

4.3.3 *Building Placement* - Requirements in Figure 1 includes a permitted range of building placement requirements:

1) **Sideyard Building Placement** – Certain types of buildings may occupy one side of the lot oriented toward the street with the setback to the other side. The visual opening of the side yard on the street frontage causes this building type to appear freestanding. This placement alternative permits vehicle and pedestrian access to the rear of the lot through the side yard. It may also allow for systematic climatic orientation in response to the sun or the wind. On-site parking is located to the side or rear of the primary building.
2) **Full Frontage Building Placement** – Certain types of buildings may occupy the full frontage, leaving the rear of the lot as the sole yard. This continuous building façade defines the public street. The rear elevations may be articulated for functional purposes such as for customer access from parking lots. In its residential form, this building placement type is the rowhouse. The rear yard can accommodate on-site parking and open space.
3) **Streetyard Building Setback** - Certain types of buildings may be set back from the Street Yard to create a sense of prominence. In the Merrick District, street yards should be prominent for certain types of institutional and civic buildings. Commercial buildings with street yard setbacks shall utilized the space as permitted in the Outdoor Activity Zone as described below.
4) **Lot Types Along Streets** - Lot types shall be selected so that buildings of similar scale and arrangement will be placed on both sides of a street. Contrasting lot types may be placed back-to-back, allowing alleys or side streets to serve as transitions.

4.3.4 *Primary Building Requirements* - The main body of a building type shall be the primary mass of the building. It shall be a legible shape in the massing and articulation of a building so that smaller building elements such a porches, bay windows and others shall be subordinate

to the main body's form (e.g. a square, rectangle, L-shape, C-shape, T-shape). Primary building requirements addressed in Figure 1 include the following:

1) **Residential Finished Floor Elevation** – Height (in inches) that the ground floor at the front-facing entry must be above finished grade within the Build-To-Zone.
2) **Ground Floor Height** – Height (in feet, floor-to-floor) of the ground floor of the main body of a building.
3) **Upper Floor Height** – Height (in feet, floor-to-floor) of any non-ground floor of the main body of a building.
4) **Roof Pitch** – Indicates the range of a roof pitches (rise/run) permitted.
5) **Flat Roofs Permitted** – Indicates if flat (no pitch), mono-pitch (roof that pitches in a single direction) or parapet roofs are permitted.
6) **Ground Floor Transparency** – Percentage of a building's ground floor façade that must be glazed within the Build-To-Zone.
7) **Upper Floor Transparency** – Percentage of a building's upper floors that must be glazed within the Build-To-Zone.
8) **Maximum Entry Spacing** – Length (in feet) between a building's or adjacent buildings' main body entrance.

4.4. Building and Lot Encroachments

4.4.1 *Use of Yards and Setbacks*:

1) **Purpose and Intent** – The purpose of using building setbacks is to promote streetscapes that are consistent with the desired character of the Merrick District. Active uses of setback areas shall be permitted for pedestrian access, outdoor accessory uses, or to facilitate access to rear of the lot for parking and loading. No parking is allowed in the street yard. Site plans shall demonstrate that the setback area accomplishes these objectives and creates an inviting environment for pedestrians.
2) **Outdoor Activity Zones** – Outdoor activities shall be allowed and encouraged where applicable as accessory uses to Retail Business and Consumer Service Uses within street yard and side yard areas on private lots. Outdoor dining areas shall be attractively designed and furnished to enhance the pedestrian environment. Outdoor dining areas may be extended onto the public sidewalk with a Special Permit from the Special Permit Granting Authority authorized to act under the applicable section of this Ordinance where a minimum of six (6) feet of unobstructed passage remains for pedestrian use.
3) **Outdoor Display** – Outdoor display of products actively available for sale shall be permitted in association with any permitted nonresidential principal ground floor use in accordance with the following provisions:
    a. Outdoor display shall occupy no more than 30% of the horizontal length of the building façade.

b. Outdoor display shall only be located within the street yard setback area.
c. Outdoor display shall be removed and placed inside a fully-enclosed building at the end of each business day.
d. Outdoor display shall not impair the ability of pedestrians to use the sidewalk.

Commentary: *Expanded outdoor uses on private and public property are very important to attracting residents, expanding business, and creating vitality in the Merrick District. This new zoning ordinance should be augmented with a new Outdoor Dining Ordinance.*

4.4.2 *Permitted Building Element Encroachments*:

1) **Protruding Building Elements in the Public Frontage** - Allowable protruding building elements include awnings, marquees, balconies, terraces, and projecting signs. These building structures are allowed to protrude up to eight (8) feet past the property line into the public right of way provided that they are not in conflict with parking and travel lanes, and street trees and other furnishings. All awnings, marquees, open air balconies, and associated projecting signs shall be a minimum of eight (8) feet above the ground. (Additional permits may be required from the Town of West Springfield).
2) **Front Porches -** Front porches may extend up to 10 feet into street yards. Partial walls, screened areas, and railings on porches that extend into the street yard may be no higher than 42 inches. Porches must remain set back at least five (5) feet from a street right-of-way.
3) **Stoops -** Stoops may extend into street yards in the Merrick zoning subdistricts provided their upper platform is no higher than 60 inches above the sidewalk. Partial walls and railings on stoops that extend into the front yard may be no higher than 42 inches. If requested during the site plan review process, stoops may extend into the right-of-way to the extent specifically provided by the Planning Board during the site plan approval process, based on its determination that sidewalk widths will be adequate to allow encroachment by stoops.

4.5. Additional Building and Lot Types

Additional building and lot types are not permitted except where specially authorized in Section 1 – Administration.

Section 5 – Street Design, Access, Connectivity and Parking Standards

5.1. Applicability

Existing and new streets as shown on the Regulating Plan are critical to future circulation throughout the Merrick District. Most thoroughfares are dedicated Town streets. New streets as shown on the Regulating Plan may become publically dedicated streets or be private streets, provided that an

easement guaranteeing the right of public passage is dedicated to the Town. Standards below for the reconfiguration of existing street are included in this Code and are critical to enhanced pedestrian and bike circulation throughout the Merrick District.

5.2. Permitted Street Types

Specific street and thoroughfare types are allowed within the Merrick District as identified on the Regulating Plan. Table 3 below describes each thoroughfare types in the Merrick District. Table 3 also indicates which thoroughfare types are permitted in each of the Merrick Zoning Subdistricts.

Table 3 - Thoroughfare Types in the Merrick District

Thoroughfare Type	Description	MNRZ	MNBZ	MUEZ	MNCZ
Primary Streets					
1. NEIGHBORHOOD BUSINESS DISTRICT STREET TYPE 1 (NBDS)	A local slow-movement thoroughfare suitable for village and neighborhood center streets, providing frontage for moderate density mixed-use buildings such as commercial, residential and civic uses. It is urban in character with raised curbs, storm-drain inlets, and striped on street parking. Formal tree plantings with selected species in opportunistic alignment and confined by individual planters or planting strips which maximize sidewalk width, with areas accommodating street furniture. Clear trunks and high canopies are necessary to avoid blocking views of storefronts, signage, and awnings.		X	X	
2. NEIGHBORHOOD RESIDENTIAL STREET TYPE A (NRS-50-34)	A local, yield moving thoroughfare suitable for village neighborhoods. Streets provide frontage for low to moderate density residential buildings such as single family detached or attached homes, multi-family buildings, and cottage courts.	X		X	
3. NEIGHBORHOOD RESIDENTIAL STREET TYPE B (NRS-70-36)	A local, yield moving thoroughfare suitable for village neighborhoods. Streets provide frontage for low to moderate density residential buildings such as single family detached or attached homes, apartment buildings, and rowhouses	X		X	
4. MIXED USE STREET TYPE (MUS-50-30)	A local slow-movement thoroughfare suitable for redevelopment area, providing frontage for moderate to higher density mixed-use buildings such as commercial, residential and civic uses. It is urban in character with raised curbs, storm-drain inlets, and striped on street parking in an alternating pattern. Formal tree plantings with selected species in opportunistic alignment may be placed in individual planters to sidewalk space or in planting strips to provide a buffer between vehicles and pedestrians. Clear trunks and high canopies are necessary to avoid blocking views of storefronts, signage, and awnings.		X	X	
5. INDUSTRIAL PARK STREET TYPE (IPS-50-30)	A local thoroughfare suitable for light industrial business park settings providing frontage for moderate to higher density development that generates higher truck traffic than general commercial operations. It is urban in character with raised curbs, storm-drain inlets, and striped on street parking. Formal tree plantings with selected species in opportunistic alignment and confined by planting strips which maximize separation between pedestrians and vehicles. Dedicated bike lanes and strategically placed bus stops and pull outs are provided to facilitate access to this employment zone by various modes of travel.		X	X	

Secondary Streets					
6. PARKING ACCESS STREET TYPE (PAS-40-22)	A narrow vehicular access way to the rear of Neighborhood Business and Mixed Use Areas providing service areas, parking access, and utility easements.	X	X	X	
7. ALLEY (AL-20-16)	A narrow vehicular access way to the rear of residential and commercial buildings providing access to service areas, parking, and utilities. Alleys are used by trucks and may accommodate dumpsters which should be screened if possible.	X	X	X	
Passages and Trails					
8. MULTI-PURPOSE TRAIL (MPT-15-8)	An independent pedestrian and bicycle way generally running through or parallel with parkways and highways. Paths should connect directly with the sidewalk network.	X	X	X	X

5.3. Thoroughfare Design Standards

5.3.1 *General Standards* - Thoroughfare types in all Merrick Zoning Subdistricts shall be designed in accordance with all standards in Figure 3 below. The specific design of each street must follow the cross-sections illustrated in Figure 3 below for each street type. The right-of-way layout for each thoroughfare type including various combinations of travel lanes, parking aisles, curbing, plating areas, and sidewalks supersede any conflicting standards in this Code or in the Town of West Springfield Subdivision Regulations - Street Design Standards.

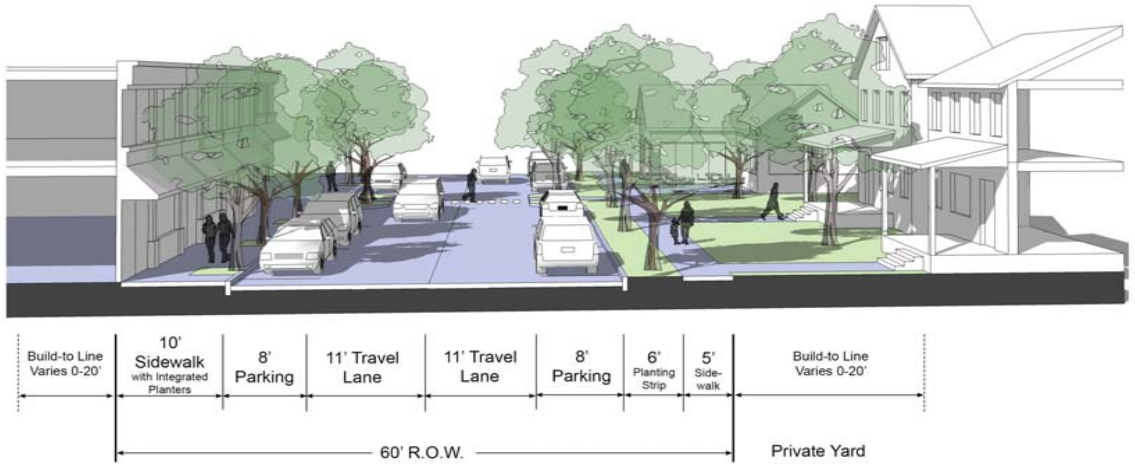
5.3.2 *Additional Street Types* - Additional street types are not permitted except where a special circumstance may warrant an additional street type design consistent with the intent and criteria of the street types outlined above. The defined street types are intended to capture each of the possible variations in street use and type within the form-based districts; however, special circumstances may warrant modification or addition of a street type. Please refer to Section 1- Administration.

FIGURE 3.1 : THOROUGHFARE DESIGN STANDARDS FOR MERRICK DISTRICT

EXAMPLE USE OF HIERARCHY	1. NEIGHBORHOOD BUSINESS DISTRICT STREET TYPE 1 (NBDS-60-40)
NBDS-60-40	**DESCRIPTION**: A local slow-movement thoroughfare suitable for village and neighborhood center streets, providing frontage for moderate density mixed-use buildings such as commercial, residential and civic uses. It is urban in character with raised curbs, storm-drain inlets, and striped on street parking. Formal tree plantings with selected species in opportunistic alignment and confined by individual planters or planting strips which maximize sidewalk width, with areas accommodating street furniture. Clear trunks and high canopies are necessary to avoid blocking views of storefronts, signage, and awnings.
↑ *40 Ft Pavement Width*	
↑ *60 Ft Right-of-Way Width*	
↑ *Thoroughfare/Streetscape Type*	**EXAMPLE APPLICATIONS:** Main Street, Union Street, new streets in the MUEZ

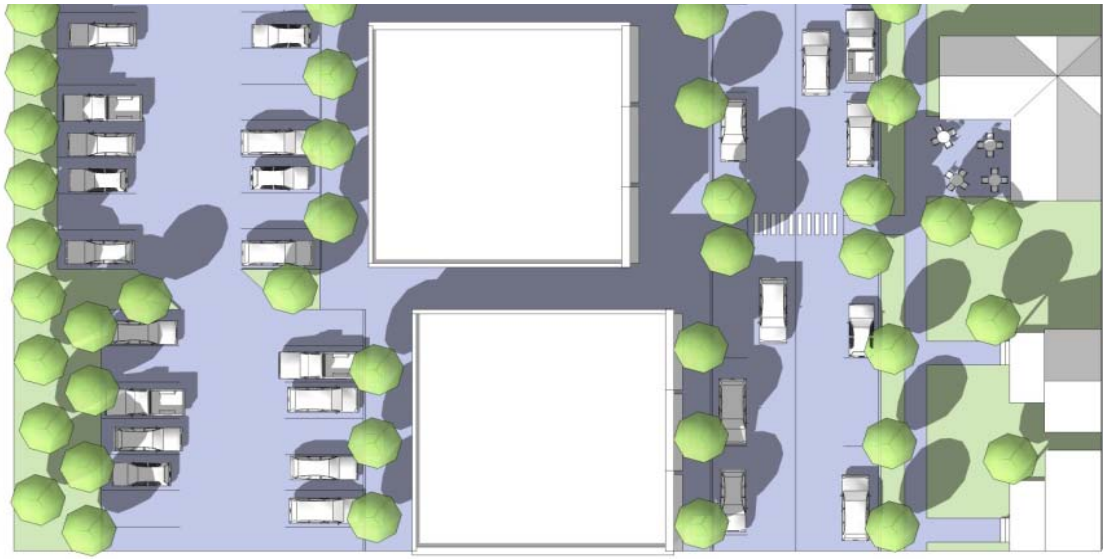
STREET DESIGN STANDARDS	
Movement	Free Movement
Traffic Lanes	Two - 11 or 12 foot
Parking Lanes	Parallel, Both Sides, 8 x 22 Feet Spaces, Lined
R.O.W. Width	60 feet
Pavement Width	38-40 feet
Traffic Flow	Two Ways
Curb Type	Raised
Curb Radius	15 Feet
Vehicular Design Speed	25 MPH
Pedestrian Crossing Time	3.5 Seconds
Road Edge Treatment	Curb
Bike Way Type	Not Dedicated; With Flow
Bike Way Width	N/A
Transit Facilities	Bus Stops and Pull Outs in Strategic Locations

CROSS SECTION/PERSPECTIVE VIEW



STREETSCAPE CHARACTERISTICS	
Planter Type	Individual in Sidewalk at Curb; or 5' Planting Strip
Planting Pattern	Trees at 40 Feet O.C. Average
Planter Strip/Box Width	3x3 foot planters with expandable grates
Tree Type	Variable Tree Species; Drought and Salt Tolerant
Utilities	Overhead Utilities
Street Light Type	Pedestrian Scale Ornamental
Street Light Spacing	40 foot Intervals
Sidewalk Placement	Both Sides
Sidewalk Width	5-10 feet public/private extension possible
Sidewalk Encroachment	Seating and Display as Permitted in District

PLAN VIEW



SUBDISTRICT APPLICATIONS

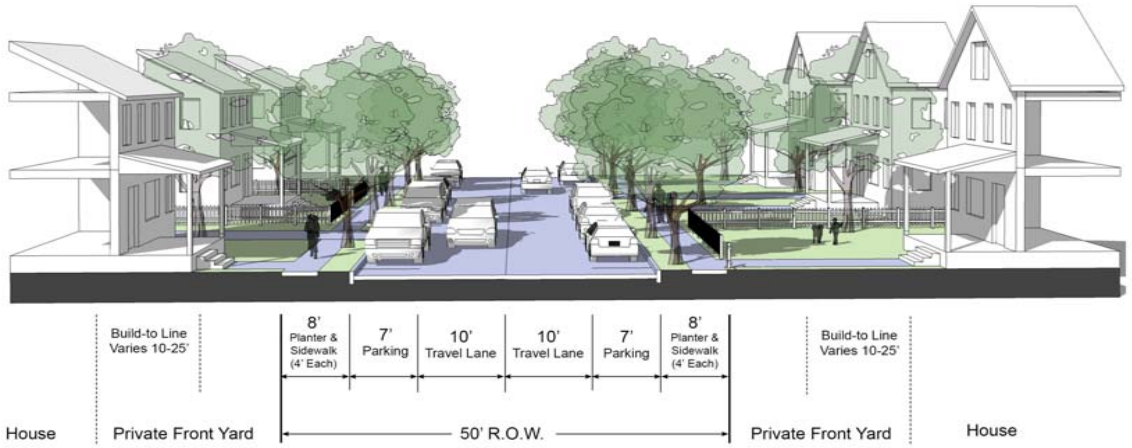
MNBZ, MUEZ

FIGURE 3.2 : THOROUGHFARE DESIGN STANDARDS FOR MERRICK DISTRICT

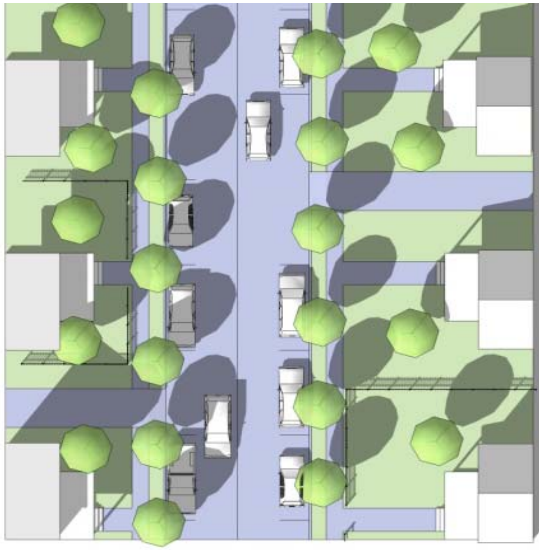
EXAMPLE USE OF HIERARCHY	2. NEIGHBORHOOD RESIDENTIAL STREET TYPE A (NRS-50-34)
NRS-50-34 ↑ *34 Ft Pavement Width* ↑ *50 Ft Right-of-Way Width* ↑ *Thoroughfare/Streetscape Type*	**DESCRIPTION**: A local, yield moving thoroughfare suitable for village neighborhoods. Streets provide frontage for low to moderate density residential buildings such as single family detached or attached homes, multi-family buildings, and cottage courts.
	EXAMPLE APPLICATIONS: Russell Street, Merrick Street, Sprague Street, Worcester Street

STREET DESIGN STANDARDS	
Movement	Free Movement
Traffic Lanes	Two - 10 foot
Parking Lanes	Parallel, Both Sides, 7 x 22 Feet Spaces, Unlined
R.O.W. Width	50 feet
Pavement Width	34 feet
Traffic Flow	Two Ways
Curb Type	Raised
Curb Radius	15 Feet
Vehicular Design Speed	15 MPH
Pedestrian Crossing Time	2.7 Seconds
Road Edge Treatment	Curb
Bike Way Type	Not Dedicated; With Flow
Bike Way Width	N/A
Transit Facilities	N/A

CROSS SECTION/PERSPECTIVE VIEW



PLAN VIEW



STREETSCAPE CHARACTERISTICS	
Planter Type	4 Foot Planting Strip
Planting Pattern	Trees at 40 Feet O.C. Average
Planter Strip/Box Width	Planning Strip
Tree Type	Variable Tree Species; Drought and Salt Tolerant
Utilities	Overhead Utilities
Street Light Type	Street Scale Ornamental
Street Light Spacing	40 foot Intervals
Sidewalk Placement	Both Sides
Sidewalk Width	4 Feet
Sidewalk Encroachment	N/A

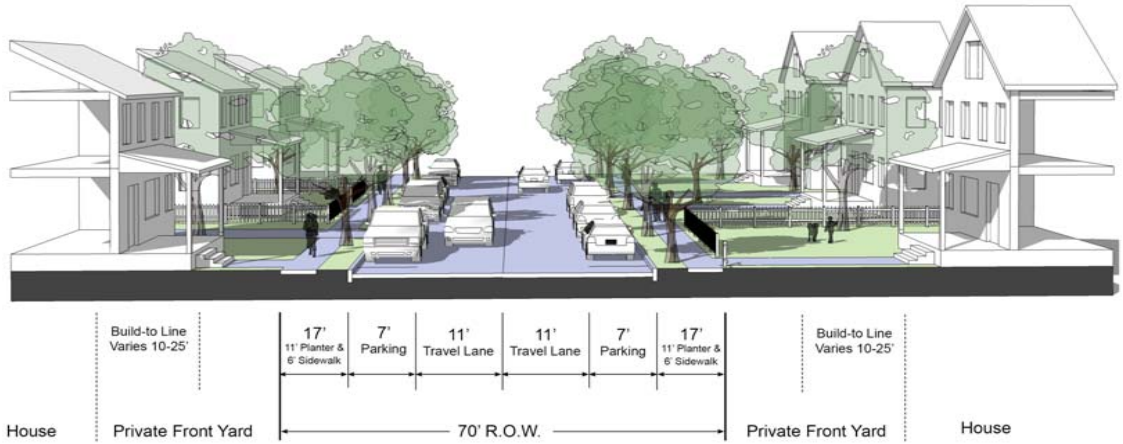
SUBDISTRICT APPLICATIONS
MNRZ, MUEZ

FIGURE 3.3 : THOROUGHFARE DESIGN STANDARDS FOR MERRICK DISTRICT

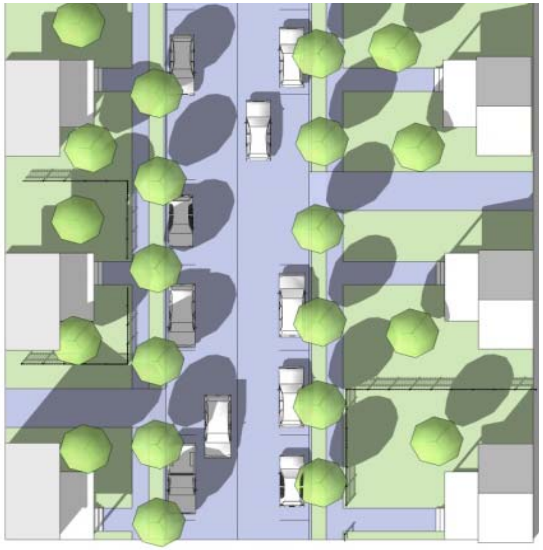
EXAMPLE USE OF HIERARCHY	3. NEIGHBORHOOD RESIDENTIAL STREET TYPE B (NRS-70-36)
NRS-70-36 ↑ *36 Ft Pavement Width* ↑ *70 Ft Right-of-Way Width* ↑ *Thoroughfare/Streetscape Type*	**DESCRIPTION**: A local, yield moving thoroughfare suitable for village neighborhoods. Streets provide frontage for low to moderate density residential buildings such as single family detached or attached homes, apartment buildings, and rowhouses **EXAMPLE APPLICATIONS:** Day Street, Hill Street, Irving Street, Fairview Street

STREET DESIGN STANDARDS	
Movement	Free Movement
Traffic Lanes	Two - 11 foot
Parking Lanes	Parallel, Both Sides, 7 x 22 Feet Spaces, Unlined
R.O.W. Width	70 feet
Pavement Width	36 feet
Traffic Flow	Two Ways
Curb Type	Raised
Curb Radius	15 Feet
Vehicular Design Speed	15 MPH
Pedestrian Crossing Time	3.0 Seconds
Road Edge Treatment	Curb
Bike Way Type	Not Dedicated; With Flow
Bike Way Width	N/A
Transit Facilities	N/A

CROSS SECTION/PERSPECTIVE VIEW



PLAN VIEW



STREETSCAPE CHARACTERISTICS	
Planter Type	Planting Strip
Planting Pattern	Trees at 40 Feet O.C. Average
Planter Strip/Box Width	11 Foot Planning Strip
Tree Type	Variable Tree Species; Drought and Salt Tolerant
Utilities	Overhead Utilities
Street Light Type	Street Scale Ornamental
Street Light Spacing	40 foot Intervals
Sidewalk Placement	Both Sides
Sidewalk Width	6 Feet
Sidewalk Encroachment	N/A

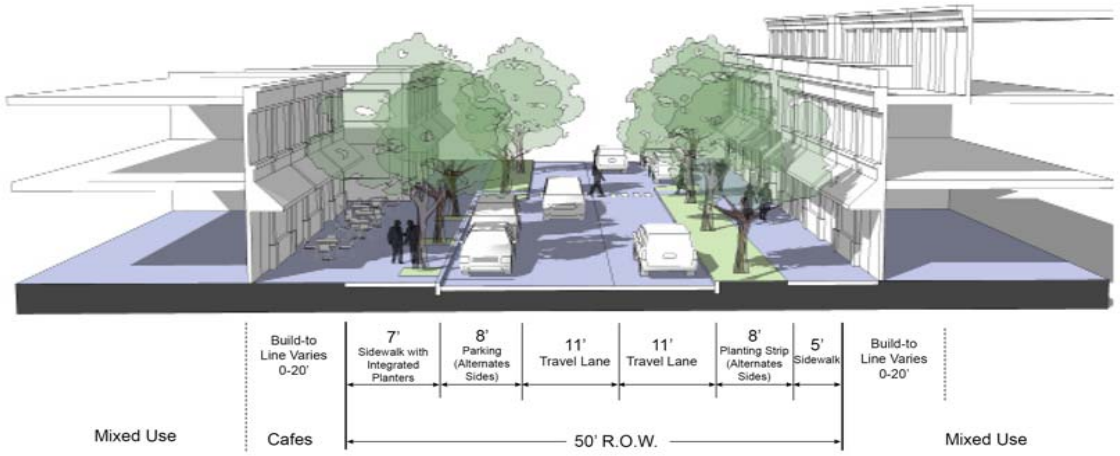
SUBDISTRICT APPLICATIONS
MNRZ, MUEZ

FIGURE 3.4 : THOROUGHFARE DESIGN STANDARDS FOR MERRICK DISTRICT

EXAMPLE USE OF HIERARCHY	4. MIXED USE STREET TYPE (MUS-50-30)
MUS-50-30	**DESCRIPTION**: A local slow-movement thoroughfare suitable for redevelopment area, providing frontage for moderate to higher density mixed-use buildings such as commercial, residential and civic uses. It is urban in character with raised curbs, storm-drain inlets, and striped on street parking in an alternating pattern. Formal tree plantings with selected species in opportunistic alignment may be placed in individual planters to sidewalk space or in planting strips to provide a buffer between vehicles and pedestrians. Clear trunks and high canopies are necessary to avoid blocking views of storefronts, signage, and awnings.
↑ *30 Ft Pavement Width*	
↑ *50 Ft Right-of-Way Width*	
↑ *Thoroughfare/Streetscape Type*	**EXAMPLE APPLICATIONS:** New streets in the MUEZ

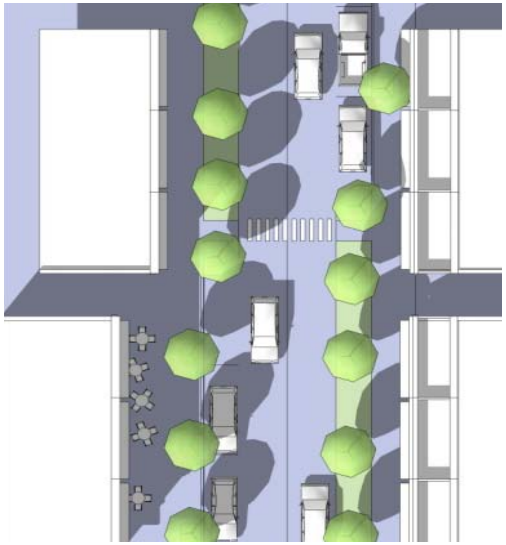
STREET DESIGN STANDARDS	
Movement	Free Movement
Traffic Lanes	Two - 11 or 12 foot
Parking Lanes	Parallel, Both Sides/Alternating; 8 x 22 Feet Spaces, Lined
R.O.W. Width	50 feet
Pavement Width	30 feet
Traffic Flow	Two Ways
Curb Type	Raised
Curb Radius	15 Feet
Vehicular Design Speed	20 MPH
Pedestrian Crossing Time	2.5 Seconds
Road Edge Treatment	Curb
Bike Way Type	Not Dedicated; With Flow
Bike Way Width	N/A
Transit Facilities	Bus Stops and Pull Outs in Strategic Locations

CROSS SECTION/PERSPECTIVE VIEW



STREETSCAPE CHARACTERISTICS	
Planter Type	Individual in Sidewalk at Curb; or Planting Strip
Planting Pattern	Trees at 40 Feet O.C. Average
Planter Strip/Box Width	3x3 foot planters with expandable grates; 6-8 Foot Planting Strips
Tree Type	Variable Tree Species; Drought and Salt Tolerant
Utilities	Buried Utilities
Street Light Type	Pedestrian Scale Ornamental
Street Light Spacing	40 foot Intervals
Sidewalk Placement	Both Sides
Sidewalk Width	5-20 feet public/private extension possible
Sidewalk Encroachment	Seating and Display as Permitted in District

PLAN VIEW



SUBDISTRICT APPLICATIONS

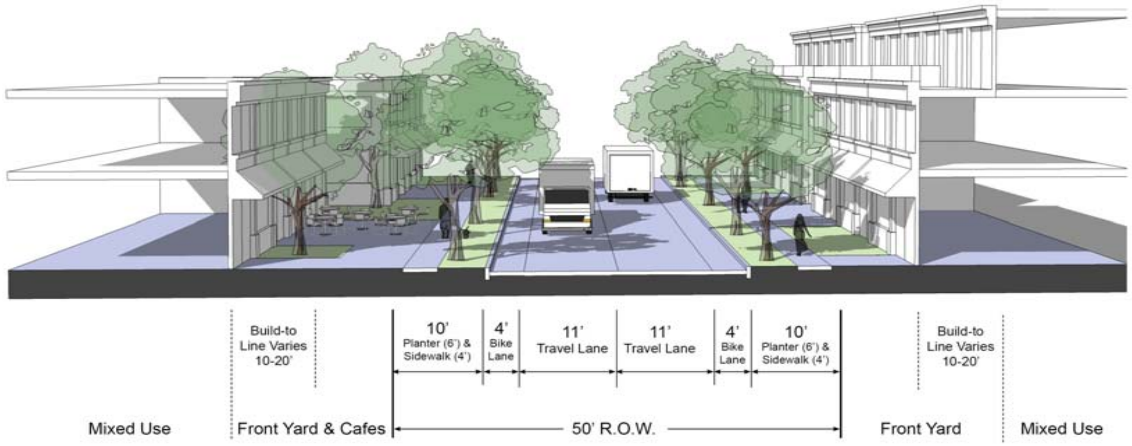
MUEZ

FIGURE 3.5 : THOROUGHFARE DESIGN STANDARDS FOR MERRICK DISTRICT

EXAMPLE USE OF HIERARCHY	5. INDUSTRIAL PARK STREET TYPE (IPS-50-30)
IPS-50-30-BL	**DESCRIPTION**: A local thoroughfare suitable for light industrial business park settings providing frontage for moderate to higher density development that generates higher truck traffic than general commercial operations. It is urban in character with raised curbs, storm-drain inlets, and striped on street parking. Formal tree plantings with selected species in opportunistic alignment and confined by planting strips which maximize separation between pedestrians and vehicles. Dedicated bike lanes and strategically placed bus stops and pull outs are provided to facilitate access to this employment zone by various modes of travel.
↑ *With Bicycle Lane*	
↑ *30 Ft Pavement Width*	
↑ *50 Ft Right-of-Way Width*	
↑ *Thoroughfare/Streetscape Type*	**EXAMPLE APPLICATIONS:** New streets in the MUEZ

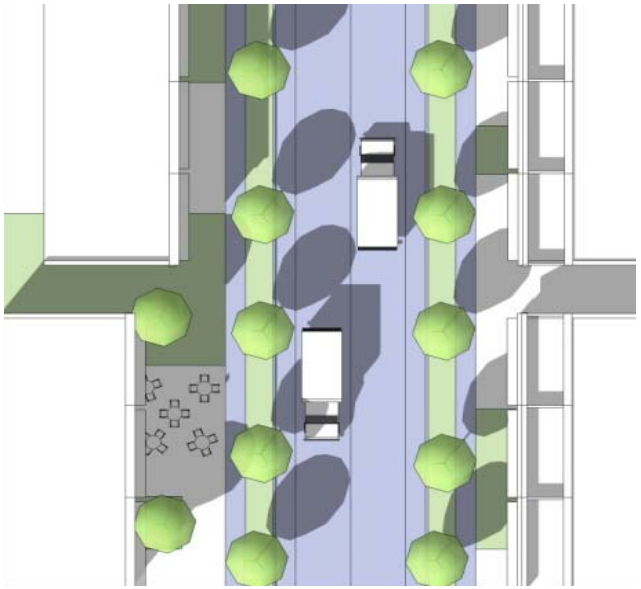
STREET DESIGN STANDARDS	
Movement	Free Movement
Traffic Lanes	Two - 11 foot
Parking Lanes	N/A
R.O.W. Width	50 feet
Pavement Width	30 feet
Traffic Flow	Two Ways
Curb Type	Raised
Curb Radius	15 Feet
Vehicular Design Speed	20 MPH
Pedestrian Crossing Time	2.5 Seconds
Road Edge Treatment	Curb
Bike Way Type	Dedicated
Bike Way Width	4 Feet
Transit Facilities	Bus Stops and Pull Outs in Strategic Locations

CROSS SECTION/PERSPECTIVE VIEW



STREETSCAPE CHARACTERISTICS	
Planter Type	Planting Strip
Planting Pattern	Trees at 40 Feet O.C. Average
Planter Strip/Box Width	6 Foot Planting Strips on Both Sides
Tree Type	Variable Tree Species; Drought and Salt Tolerant
Utilities	Buried Utilities
Street Light Type	Street Scale Ornamental
Street Light Spacing	40 foot Intervals
Sidewalk Placement	Both Sides
Sidewalk Width	4 feet public/private extension possible
Sidewalk Encroachment	Seating and Display as Permitted in District

PLAN VIEW



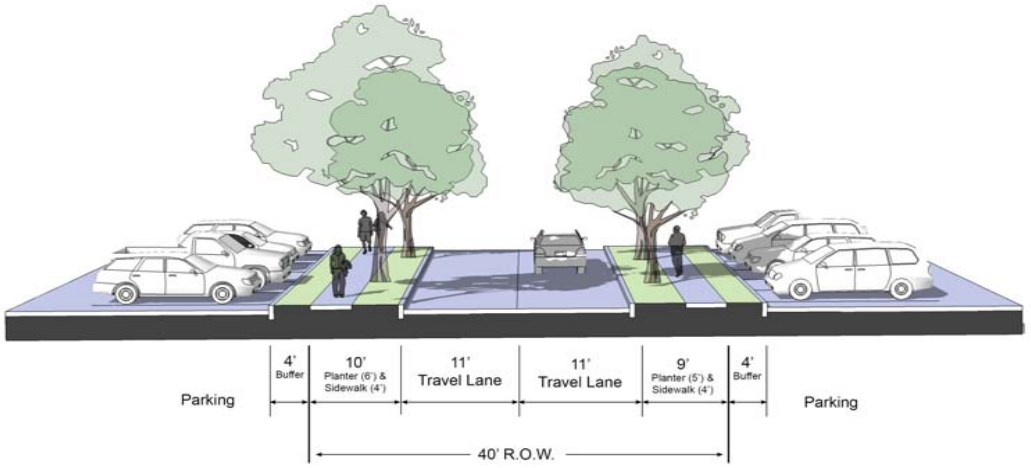
SUBDISTRICT APPLICATIONS

MUEZ

FIGURE 3.6 : THOROUGHFARE DESIGN STANDARDS FOR MERRICK DISTRICT

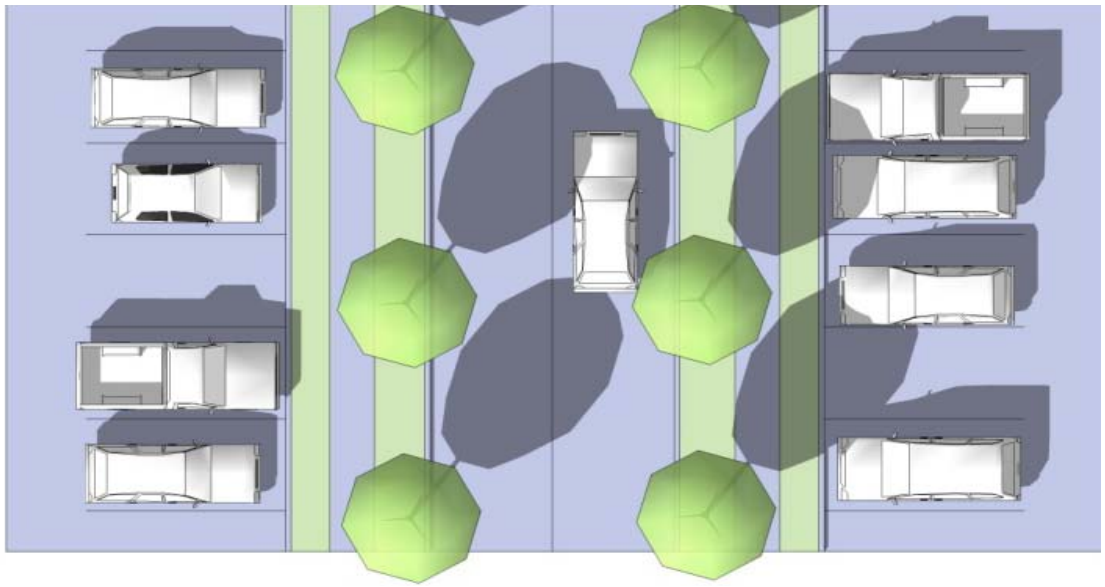
EXAMPLE USE OF HIERARCHY	6. PARKING ACCESS STREET TYPE (PAS-40-22)
PAS-40-22	**DESCRIPTION:** A narrow vehicular access way to the rear of Neighborhood Business and Mixed Use Areas providing service areas, parking access, and utility easements.
↑ *22 Ft Pavement Width*	
↑ *40 Ft Right-of-Way Width*	
↑ *Thoroughfare/Streetscape Type*	**EXAMPLE APPLICATIONS:** In rear areas of MNBZ lots and to the rear of new development in MUEZ

CROSS SECTION/PERSPECTIVE VIEW



STREET DESIGN STANDARDS	
Movement	Free Movement
Traffic Lanes	Two - 11 foot
Parking Lanes	N/A
R.O.W. Width	40 feet
Pavement Width	22 feet
Traffic Flow	Two Ways
Curb Type	Raised
Curb Radius	15 Feet
Vehicular Design Speed	15 MPH
Pedestrian Crossing Time	2.0 Seconds
Road Edge Treatment	Curb
Bike Way Type	Not Dedicated; With Flow
Bike Way Width	N/A
Transit Facilities	N/A

PLAN VIEW



STREETSCAPE CHARACTERISTICS	
Planter Type	Planting Strip
Planting Pattern	Trees at 40 Feet O.C. Average
Planter Strip/Box Width	6 Foot Planting Strips on Both Sides
Tree Type	Variable Tree Species; Drought and Salt Tolerant
Utilities	Buried Utilities
Street Light Type	Street Scale Ornamental
Street Light Spacing	40 foot Intervals
Sidewalk Placement	Both Sides
Sidewalk Width	4 Feet Private
Sidewalk Encroachment	N/A

SUBDISTRICT APPLICATIONS

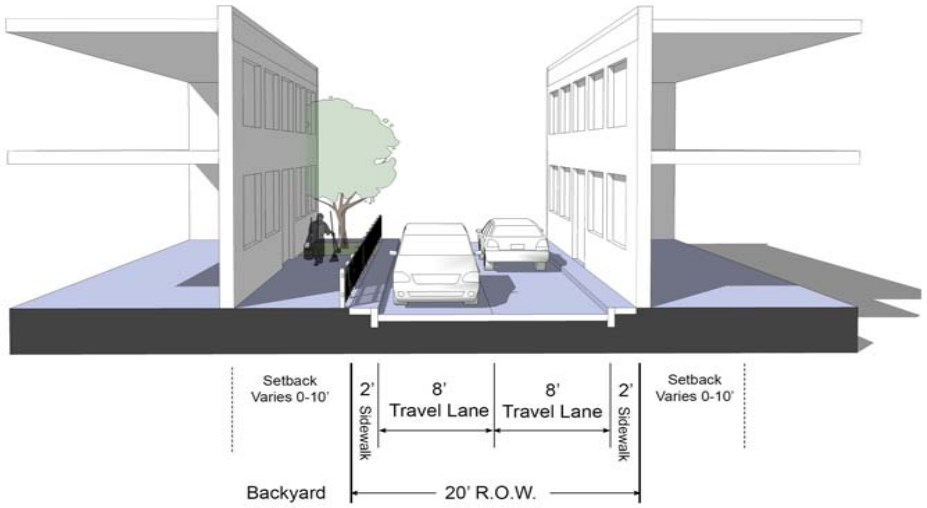
MNBZ, MUEZ

FIGURE 3.7 : THOROUGHFARE DESIGN STANDARDS FOR MERRICK DISTRICT

EXAMPLE USE OF HIERARCHY	7. ALLEY (AL-20-16)
AL-20-16	**DESCRIPTION:** A narrow vehicular access way to the rear of residential and commercial buildings providing access to service areas, parking, and utilities. Alleys are used by trucks and may accommodate dumpsters which should be screened if possible.
↑ *16 Ft Pavement Width*	
↑ *20 Ft Right-of-Way Width*	
↑ *Thoroughfare/Streetscape Type*	**EXAMPLE APPLICATIONS:** Rear access to buildings, parking and service areas in the MNRZ, MNBZ and MUEZ

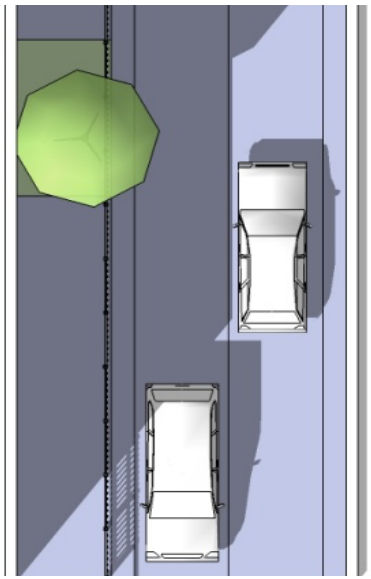
STREET DESIGN STANDARDS	
Movement	Free Movement
Traffic Lanes	Two - 8 foot
Parking Lanes	N/A
R.O.W. Width	20 feet
Pavement Width	16 feet
Traffic Flow	Two Ways
Curb Type	Raised
Curb Radius	15 Feet
Vehicular Design Speed	10 MPH
Pedestrian Crossing Time	1.5 Seconds
Road Edge Treatment	Curb
Bike Way Type	Not Dedicated; With Flow
Bike Way Width	N/A
Transit Facilities	N/A

CROSS SECTION/PERSPECTIVE VIEW



STREETSCAPE CHARACTERISTICS	
Planter Type	N/A
Planting Pattern	N/A
Planter Strip/Box Width	N/A
Tree Type	N/A
Utilities	N/A
Street Light Type	Street Scale
Street Light Spacing	40 foot Intervals
Sidewalk Placement	Both Sides
Sidewalk Width	2 Feet Private
Sidewalk Encroachment	N/A

PLAN VIEW



SUBDISTRICT APPLICATIONS

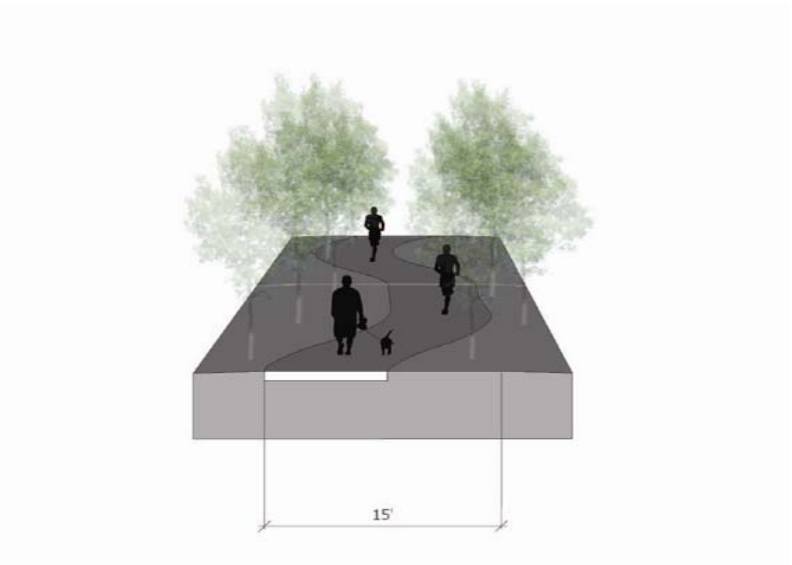
MNRZ, MNBZ, MUEZ

FIGURE 3.8 : THOROUGHFARE DESIGN STANDARDS FOR MERRICK DISTRICT

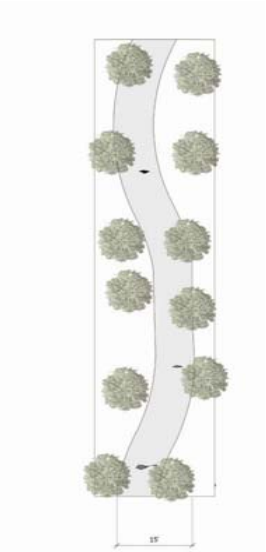
EXAMPLE USE OF HIERARCHY	8. MULTI-PURPOSE TRAIL (MPT-15-8)
MPT-15-8	**DESCRIPTION:** An independent pedestrian and bicycle way generally running through or parallel with parkways and highways. Paths should connect directly with the sidewalk network.
↑ *8 Ft Pavement Width*	
↑ *15 Ft Right-of-Way Width*	
↑ *Thoroughfare/Streetscape Type*	**EXAMPLE APPLICATIONS:** Passive recreation in MNRZ, MUEZ, and MNCZ

STREET DESIGN STANDARDS	
Movement	Free Movement
Traffic Lanes	Two Lanes
Parking Lanes	N/A
R.O.W. Width	15 feet
Pavement Width	8 Feet Min.
Traffic Flow	Two Ways
Curb Type	None
Curb Radius	N/A
Vehicular Design Speed	10 MPH
Pedestrian Crossing Time	N/A
Road Edge Treatment	N/A
Bike Way Type	Shared and Dedicated
Bike Way Width	N/A
Transit Facilities	N/A

CROSS SECTION/PERSPECTIVE VIEW



PLAN VIEW



STREETSCAPE CHARACTERISTICS	
Planter Type	N/A
Planting Pattern	Variable Pattern
Planter Strip/Box Width	N/A
Tree Type	Variable Species
Utilities	N/A
Street Light Type	Pedestrian Scale Ornamental
Street Light Spacing	40 foot Intervals
Sidewalk Placement	Both Sides
Sidewalk Width	N/A
Sidewalk Encroachment	N/A

SUBDISTRICT APPLICATIONS
MNRZ, MUEZ, MNBZ, MNCZ

5.4. Access and Connectivity Standards

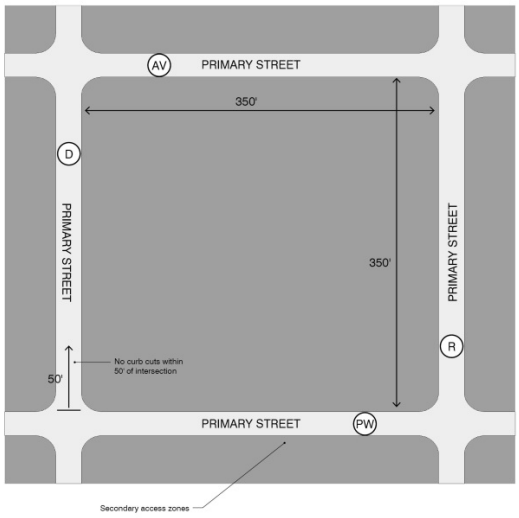
5.4.1 *Street Networks and Connectivity* - Each Merrick Zoning Subdistrict shall have interconnected network of streets and should achieve the following transportation objectives:

1) Ability to accommodate existing or anticipated public transit improvements and facilities.
2) The interconnected street network shall extend into adjoining areas except where the general integration with surrounding uses is deemed inappropriate for a particular area. Street stubs shall be provided to adjoining undeveloped areas to accommodate future street connectivity.
3) Proposed streets shall respect topography and designated environmental resources and be modified accordingly to avoid damages to such resources.
4) Sidewalks and rows of street trees must be provided on both sides of all primary streets; To allow healthy tree growth, when street trees will be planted in tree wells or in planting strips narrower than 10 feet, the developer must support the surrounding sidewalk and parking lane with structural soil or provide an equivalent soil volume using a method acceptable to the Town's Tree Warden.
5) All Primary Streets must be publicly dedicated. Private streets and closed or gated streets are prohibited.
6) Rear access streets and alleys shall serve as the primary means of vehicular ingress to individual lots in the Merrick Zoning Subdistricts. Alley or access street entrances should generally align so as to provide ease of ingress for service vehicles, but internal deflections or variations in the alley/side street network are encouraged to prevent excessive or monotonous views of the rear of structures resulting from long stretches of alleys or side streets.

5.4.2 *Block Development Standards*:

1) The length, width and shape of blocks shall be designed to provide convenient and safe circulation and access for pedestrians and vehicles. Smaller blocks are encouraged to promote walkability, connectivity, distribution, and the pedestrian experience.
2) Block perimeters shall not exceed 1,400 linear feet as measured along the inner edges of each street right-of-way. The typical block dimensions are 250'x250' but shall not exceed 350' x 350' feet. Smaller blocks are encouraged for new development throughout the Merrick District when possible.

Figure 4 – Block Configuration Standards



3) Blocks shall feature mid-block side streets or alleys as prescribed in Section 5.

5.4.3 *Site Access*:

1) **Applicability**
   a. All buildings must be located on a site abutting a public street.
   b. All driveway access to a public street must be approved by the Department of Public Works (DPW), as applicable.
   c. All existing and proposed development must demonstrate to the satisfaction of the DPW safe means of pedestrian, bicycle and vehicular ingress and egress from and to a public street or an abutting site.

2) **Access Requirements**
   a. There may be no on-site parking area designed in such a way that requires the backing of vehicles into a public street.
   b. Unless otherwise approved by the DPW, a driveway may be no closer than 40 feet from the intersection of two public street right-of-way lines, not including an alley.
   c. Unless otherwise approved by the DPW, a driveway may be located no closer than 30 feet from any other driveway on the same block face.

3) **Shared Access**
   a. All nonresidential or mixed use sites may provide a shared access with a minimum paving width of 24 feet. A shared access easement may be required when abutting an existing mixed use or nonresidential property.
   b. The location of the access easement will be determined in consultation with the DPW.

4) **Driveway Width**
   a. The width of a driveway serving single-family residential uses may be no less than eight feet and no more than 20 feet in width, provided that the driveway is no wider than 16 feet at the property line.
   b. The width of all other driveways at the street setback line may be no more than 24 feet.

5.5. Parking Standards

Commentary: *The overall objective for parking is to provide adequate spaces but avoiding excessive parking lots that create dead, low-interest areas for pedestrians, and discourage people from walking to and within the Merrick District. Parking in the proposed subdistricts is prohibited between any new building and the street to preserve and improve the pedestrian environment.*

5.5.1 *Purpose and Intent* - The purpose of this section is to provide accessible, attractive, and secure off-street parking facilities in the Merrick District. These regulations are also intended to reduce traffic congestion and hazards and to assure the maneuverability of emergency vehicles by requiring appropriately designed off-street parking and loading areas in proportion to the needs generated by varying types of land use. The parking and loading requirements are also intended to protect existing and future neighborhood residents from the effects of vehicular noise and traffic generated by adjacent nonresidential uses. These regulations shall supersede the requirements under Section 9.0 of the West Springfield Zoning Ordinance unless otherwise indicated below.

5.5.2 *Applicability* - Unless specifically exempt, all existing and proposed development must provide parking facilities in accordance with this section. Where a building or use existed as of the effective date of this Code, and the building or use is enlarged in gross floor area or impervious area by 10% or 2,000 square feet, whichever is less, parking as specified is required for the enlarged area.

5.5.3 *Exemptions*:

1) Buildings and uses lawfully existing as of the effective date of this Code may be renovated or repaired without providing additional parking facilities, provided there is no increase in gross floor area or change in use that would increase parking demand.
2) A change in use of a building or use existing as of the effective date of this Code requires additional parking facilities to comply with the requirements of this section for the new use unless:
    a. The building is less than 2,000 square feet in floor area; or
    b. The new use has the same parking requirement or a lesser requirement than the previous one.
3) No on site vehicle parking is required for any single retail use or personal service use in a building under 2,000 square feet of gross floor area.
4) Outdoor dining areas are exempt from the calculation of required vehicle parking spaces.

5.5.4 *Required Minimum Vehicle Parking*:

1) The following minimum parking spaces are required for each use unless an alternative requirement is approved by the Planning Board.
2) When the number of spaces calculated according results in a number containing a fraction, the number of required spaces is rounded up to the next whole number.
3) Required parking spaces must be located on the same site they are intended to serve, except where specifically stated in this section.

4) For the purposes of calculating required parking spaces uses are grouped into categories. The example uses listed are not an exhaustive list. The Building Commissioner Planning Director has the responsibility for categorizing all uses.

Table 4 - Required Vehicle Parking Spaces	
Residential Use Categories	
Household Living	
Studio 1 bedroom 2-3 bedrooms 4+ bedrooms plus Guest	1 space per unit 1 space per unit 2 spaces per unit 3 spaces per unit 0.2 space per unit
Group Living	
All Uses	1 space per 4 beds
Commercial Use Categories	
All Uses	1 space per 300 square feet of gross floor area
Industrial Use Categories	
All Uses	1 space per 300 square feet of gross floor area
Community Facilities and Places of Assembly	
All Uses	1 space per 300 square feet of gross floor area

5) In the case of a mixed use development, the total number of required parking spaces is the sum of the requirements of the various uses computed separately and the required space for one use cannot be considered as providing the required space for any other use. (See possible parking reduction methods below).

Commentary: *Parking requirements in the proposed MNBZ should be much less restrictive that they currently are in the Town Zoning Ordinance. Commercial uses along Main Street and Union Street are highly accessible to neighborhood residents on foot or bike. The use of on-street public parking augments private off-street parking lots and accommodates different users at different times during the day (shared facilities). Changes in use of existing building space do not need to provide new parking regardless of whether they are changing to a more or less intensive use. Parking is required for new construction and expansions but at lower levels than the current zoning requirements.*

5.5.5 *Maximum Vehicle Parking*:

1) **Reserved Parking -** Surface and structured parking spaces may be reserved for a specific tenant or unit, provided that the following standards are not exceeded:
   a. Residential
      i. 1 space per one-bedroom multifamily dwelling unit.
      ii. 2.0 spaces per two-bedroom or greater multifamily dwelling unit.

b. Nonresidential - No more than one-third of the total provided spaces may be reserved.

2) **Maximum Surface Parking -** Surface parking may not exceed 125% of the required parking. Structured parking may exceed the required quantity of parking without the imposition of maximum standards.

5.5.6 *Required Bicycle Parking*:

1) The following bicycle parking spaces are required for each nonresidential building or mixed use project. For mixed use projects only the nonresidential portion of the project is required to provide bicycle parking.
   a. Up to 25,000 of gross floor area — 2 spaces
   b. 5,000 - 50,000 of gross floor area — 4 spaces
   c. 50,000+ of gross floor area — 8 spaces
2) Bicycle parking racks must be high-quality, inverted —"U"- type construction. Alternative high-quality bicycle parking racks may be approved by the DPW if they can be shown to:
   a. Provide adequate theft protection and security; and
   b. Support the bicycle at two points of contact to prevent damage to the bicycle wheels and frame.
3) All bicycle racks must be publicly accessible and be placed on private property or within the public right-of-way with the approval of the DPW.
4) Bicycle racks must be located within 100 feet of the primary building entrance and in a location that is visible and easily accessible. The DPW may approve locations up to 200 feet.
5) Where a bicycle rack allows bicycles to be locked on both sides of the rack without conflict, each side may be counted as one required space.

5.5.7 *Joint Vehicle Parking*:

1) Uses abutting one another may physically connect their parking areas at the lot line to create connecting drive aisles, provided a mutual access easement acceptable to the Town of West Springfield has been executed.
2) The agreement must ensure that adequate maneuvering space, as determined by the DPW, for required parking spaces in both parking areas is preserved.
3) The use of joint parking does not by itself authorize a reduction in the number of required spaces.

5.5.8 *Shared Parking Reduction Method*:

1) Applicants wishing to use shared parking as a means of reducing the total number of required spaces may submit a shared parking analysis using the Urban Land Institute (ULI) Shared Parking Model (latest edition).
2) The study must be provided in a form established by the Planning Department.
3) Reductions in the total number of required spaces for shared parking are not be permitted unless the Planning Board determines a reduction is appropriate on a case-by-case basis through the use of the ULI Shared Parking Model (latest edition).
4) Uses providing shared parking must have either mutually exclusive or compatibly overlapping normal hours of operation. The Planning Board will determine whether hours of operation are compatibly overlapping on a case-by-case basis through the use of the ULI Shared Parking Model (latest edition).

Commentary: The ULI Shared Parking Model 2nd Edition has been thoroughly updated and based on all new data. It contains the information needed by municipalities to accurately estimate parking requirements for a mixed-use setting where parking is shared among the uses. Based on widely accepted methodology, the manual includes new parking ratios that take into account trends in visits to restaurants, entertainment venues, shopping and office trips. It includes a thorough discussion of the methodology, findings, and derivation of these values provides a solid foundation for the validity of shared parking and the number of spaces recommended for various land use mixes such as office, retail, hotel, restaurant, and residential space to determine the appropriate number of parking spaces without requiring excessive parking that can diminish the vitality of neighborhood and village centers and create excessive costs and storm drainage impacts.

5.5.9 *On-Street Parking Reduction Method* - One legal on-street parking space may be substituted for every required parking space provided the on-street space is located on a public right-of-way immediately abutting the subject property. Where a partial space straddles an extension of a side property line, the space may be counted by the abutting owner in front of whose property is 50% or more of the space is located.

5.5.10 *Off-Site Parking Reduction Method* - Required parking spaces may be permitted by the DPW on a separate site from the site on which the principal use is located if the off-site parking complies with the all of following standards:

1) Off-site parking spaces are located within 500 feet from the primary entrance of the use served along the shortest available pedestrian route (measured from the nearest point of the parking area to the nearest point of the primary entrance served by the off-site parking lot).
2) Specifically designated off-site parking areas for employees may be located up to 1,000 feet served along the shortest available pedestrian route (measured from the nearest point of the parking area to the nearest point of the employee entrance served by the off-site parking lot).

5.5.11 *Tandem Vehicle Parking*:

1) Tandem parking is allowed for townhouse, rowhouse, multifamily and residential component of a mixed use project.
2) Two parking spaces in tandem must have a combined minimum dimension of nine feet in width by 36 feet in length.
3) Up to 85% of the total parking spaces provided for residential projects may incorporate tandem parking.
4) For residential projects, both parking spaces in tandem must be assigned to the same dwelling unit.
5) Tandem parking may not be used to provide guest parking.

5.5.12 *Car-Sharing Program* - The Planning Board may approve a reduction in the number of required parking spaces for residential units in a residential project or mixed use project with a residential component where an active car-sharing program is made available to residents, and where cars for the program are available on the site or within a 600-foot walking distance of the site. The Planning Board may reduce parking requirements by five spaces for each car-share vehicle available.

5.5.13 *Valet Parking* - Valet parking may be permitted as a means of satisfying the applicable parking requirements where all of the following standards have been met:

1) Adequate assurance of the continued operation of the valet parking is provided, such as a contractual agreement for valet services or the tenant's affidavit agreeing to provide such services.
2) An equivalent number of valet spaces are available to replace the number required on-site parking spaces.
3) Valet spaces do not require individual striping, and may take into account the tandem or mass parking of vehicles.
4) The design of the valet parking may not cause customers who do not use the valet service to park off-premise or cause queuing in the right-of-way.
5) An attendant must be provided to park vehicles during all business hours of the main use.

5.5.14 *Design and Maintenance*:

1) Each parking space provided on-site (whether required or optionally provided) must have an area of not less than 9 feet by 18 feet, plus adequate driveways and aisles, as determined by the DPW.
2) Dimensions for on-street parking space must be approved by the DPW, as applicable.

3) All parking spaces provided on-site (whether required or optionally provided) must be located on a paved surface, drained and permanently marked to delineate individual parking spaces.
4) The DPW may allow alternative all weather surfaces to decrease stormwater runoff and increase groundwater filtration.

5.5.15 *Loading* - If loading areas are provided, they must meet the following standards:

1) Loading areas are permitted only on a block interior or in the ground floor of a parking structure.
2) The loading dock must be located at least 50 feet away from adjacent residential properties in the MNRZ.
3) The design of the ingress, egress, and maneuvering must be approved by the DPW.
4) Each off-street loading space must be designed with a reasonable means of vehicular access from a public street or alley in a manner which will least interfere with traffic movement.
5) Each off-street loading space must be independently accessible so that no loading space blocks another loading space.
6) Trash removal facilities and other structures must not block a loading space.
7) There may not be a loading area designed in such a way that will require the backing of vehicles into a public street, not including an alley.

Section 6 – Landscaping, Screening and Lighting Standards

6.1. Intent

In any permit proceeding, consideration shall be given to the possibilities for enhancement and improvements to landscape design and pedestrian amenities. At a minimum, the applicant shall propose a landscape design that may include, but is not limited to: planting of trees; benches; sidewalks or other pedestrian paths; doorways, porches, terraces, landscaped areas and entries that provide transition for and bridge the gap between public and private space; and orient parking and building lighting that is appropriate in style and design to the desired character of the Merrick District.

6.2. Public Frontage Landscaping Requirements

6.2.1 *Street Trees* – As specified in Figure 3 – Thoroughfare Design Standards for the Merrick District, the public frontage shall include trees planted in a spacing pattern as described of varied species with shade canopies of a height that, at maturity, clears three stories, but remains predominantly clear of building frontages. The introduced landscape shall consist primarily of durable species tolerant of salt and soil compaction.

6.3. Private Frontage Landscaping Requirements

6.3.1 *Existing Trees* – Existing significant trees and shrubs shall be maintained.

6.3.2 *Visibility* – No plantings shall obscure site entrance and exit drives and road intersections or impair visibility of existing commercial storefronts. Tree species shall be selected to maintain relatively clear views of the ground floor.

6.3.3 *Non-Residential Lots* – Street yard landscape is not required if front setback is zero. When the front setback is greater than zero, those portions of the street yard not occupied by pedestrian amenities and public spaces shall be landscaped. Street trees are required if front setback is greater than ten (10) feet.

6.3.4 *Residential Lots* – Private Frontage landscaping shall be required for all residential properties for the first ten (10) feet back from the front property boundary. In addition to natural vegetation that is retained, Private Frontage on residential lots shall be planted with indigenous grasses, trees, shrubs, flowers, fruits, vegetables or a combination thereof.

6.3.5 *Street Trees* – One deciduous tree with 3" minimum caliper shall be planted within the front setback for every 40 feet of frontage of property if front setback is greater than 10 feet. Trees in paved areas shall have a minimum 25 square feet of permeable area for growth. Trees in islands shall have a minimum of 50 square feet of permeable area for growth. All landscaped areas shall be continuously maintained, irrigated, and fertilized. Plant materials shall be organically maintained.

6.4. Parking Lot Landscaping

The following Landscape Standards for parking lots shall apply in the Merrick District:

6.4.1 *Shade Trees* – One 3" minimum caliper low water use, low maintenance canopy tree shall be provided for every 10 parking spaces. Trees shall be maintained and irrigated and planted within at least 50 square feet of permeable area. Existing trees located in the interior of lots shall be credited towards this requirement.

6.4.2 *Buffering and Screening* – Interior planting beds shall be continuous to allow for maximum plant bed size and constructed as rain gardens to control storm water. No landscaped island shall be less than 6 feet wide. Perimeter areas of parking lots in the MNBZ that abut MNRZ shall be landscaping with a combination of streets, shrubs and fencing to screen views and lighting on adjacent residential properties.

6.4.3 *Landscaping of Pre-existing Parking Lots* – Upon the expansion of an existing parking lot containing 20 or more parking spaces and/or an alteration of a structure, or a change or extension of a use which increases the parking requirements by 5 or more spaces according to the standards of this ordinance, the entire existing parking lot shall be brought into compliance with this section.

6.4.4 *Coordination* – Landscaping of private parking lot and other lot features shall be compatible with the streetscape design elements of the public frontages.

6.4.5 *Storage Areas* - Exposed storage areas, machinery, garbage "dumpsters," service areas, truck loading areas, utility buildings and structures shall be screened from view of abutting properties and streets using plantings, fences and other methods. Shared use and designated areas for clustered garbage dumpsters shall be required. Garbage dumpsters shall be fully screened on 3 sides with solid walls a minimum of six (6) feet high with a solid front gate, six feet high, which shall be kept, closed. Trash compacters shall be enclosed to minimize noise.

6.5. Lighting Standards

Outdoor site lighting shall primarily be used to provide safety, while secondarily accenting key architectural elements and emphasizing landscape features. Light fixtures shall be designed as an integral element that complements the design of the project. This may be accomplished through style, material or color. All lighting fixtures designed or placed to illuminate any portion of a site shall meet the following requirements:

6.5.1 *General Standards* – Lighting shall complement a building's architecture through shadowing, highlighting, and flooding. Appropriate lumens or foot-candles shall be evaluated to provide these effects without overwhelming the building or site. Light fixtures shall be compatible to the style of the building and may include: attached or detached; soffit; up light or down light; and tree lighting.

6.5.2 *Streetscape Lighting Placement* – The placement of streetscape lighting fixtures shall be in a consistent pattern to provide sufficient light levels within the public streetscape area and private streetyard. Lighting placement within the streetyard shall be designed as an extension of the public streetscape and as a complementary element of landscaping and building design.

6.5.3 *Prohibited Light Sources* – The following light fixtures and sources shall not be used where the direct light emitted is visible from adjacent areas:

1) Low-pressure sodium and mercury vapor light sources;

2) Cobra-head-type fixtures having dished or drop lenses or refractors which house other than incandescent sources; and
3) Searchlights and other high-intensity narrow-beam fixtures.

6.5.4 *Luminaire* – The light source shall be concealed and shall not be visible from any street right-of-way. Protect adjacent properties by minimizing the intrusion of lighting, including parking lot and building exterior lighting, through the use of full cut-off luminaires light shields, or similar solutions.

6.5.5 *Fixture Height* – Lighting fixtures shall not exceed 30 feet in height above parking areas. Lighting fixtures shall not be less than 9 feet or more than 15 feet in height above the sidewalk in pedestrian areas.

6.5.6 *Limit Lighting to Periods of Activity* – Lighting shall use sensor technologies, timers or other means to activate lighting during times when it will be needed. All site lighting, including architectural, sign and parking lot lighting, shall be kept extinguished outside of those business hours established under an approved site management plan, except for lighting determined to be necessary for site security and the safety of residents, employees and visitors.

6.5.7 *Commercial Parking Area Lighting* – All commercial parking areas shall provide lighting for both pedestrian areas and parking areas during nighttime hours of operation.

6.6. Fences

6.6.1 *Residential Lots* – Fencing on residential lots shall conform to the following:

1) Prohibited finish materials: plastic, chain link, barbed wire and razor wire fencing.
2) Fences, garden walls or hedges shall be used along all un-built property lines that abut streets and alleys to conceal parking, service and storage areas.
3) Fences, garden walls or hedges shall be used in side yards (behind the front plane of the primary structure) and rear yards.
4) Finish materials: wood (termite resistant) painted/stained, wrought iron, brick, stone or stucco.
5) No fence, hedge or wall in the Streetyard shall exceed a height of 3 ½ feet and shall be semi-opaque;
6) In the side and rear yards, fence heights are not to exceed 6 feet (8 feet when abutting a nonresidential district) from the grade plane.

6.6.2 *Commercial and Mixed Use Lots* – Fencing shall be used to define rear or side property lines, the boundaries of a parking area, or to screen dumpsters or machinery from view. Property owners shall use plantings and landscaping to define outdoor spaces.

1) Traditional fencing materials such as wood, granite or stone, iron or alternatives to wrought or cast iron fencing such as black steel or aluminum fencing shall be used. Fencing shall be compatible with the materials, proportions and styles of the existing buildings on the site.
2) The height and style of the fence shall also relate to its location on the site with taller, solid fencing at the rear of the site and lower and more open fencing at the front. Vinyl and chain link fencing are prohibited.
3) No fence, hedge or wall in the Streetyard shall exceed a height of 3 ½ feet and shall be semi-opaque; in the side and year yards, fence heights are not to exceed 6 feet from the grade plane.

6.7. Utilities and Services

6.7.1 *Utilities* – Existing above ground utility lines and poles shall be buried underground, or moved behind buildings. All new electrical and communication utilities in the Merrick District shall be placed underground.

6.7.2 *Mechanical Utilities* – Mechanical equipment, whether ground level or rooftop shall be screened from view of adjacent properties and public rights-or-way and designed to be an integral part of the building.

Section 7 – Public and Civic Space Standards

7.1. Intent

The intent of these standards over time is to provide for a combination of viable public and private open space and civic gathering spaces that amount to at least 5% of the total land area in the Merrick Neighborhood District.

7.2. Civic and Open Space Types

Specific public and private open space types are allowed within the Merrick District as identified by the Table 5 below, and are intended for the gathering of people for passive or active recreation, entertainment, and organized communal activities. The types of open spaces shall comply with the design standards in Figure 5 below.

Table 5 - Public and Private Open Space Types						
Open Space Types	*Suggested Frontage On At Least:*	*Typical Lot Size*	*MNRZ*	*MNBZ*	*MUEZ*	*MNCZ*
Park	1 street	0.5 to no max.		X	X	X
Green/Common	2 streets	0.5 to 5 acres		X	X	X
Square/Plaza	1 streets	0.5 to 2 acres		X	X	X
Playground	0 streets	0.1 to 1 acres	X	X	X	X
Community Garden	0 streets	0.1 to 1 acres	X	X	X	X
Private Yards, Pocket Park, Open Space	Variable	Variable	X	X	X	

7.3. Open Space Requirements

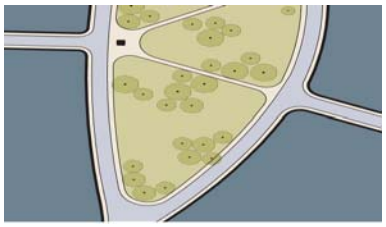
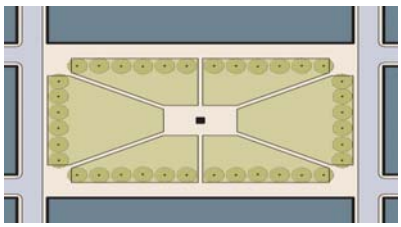
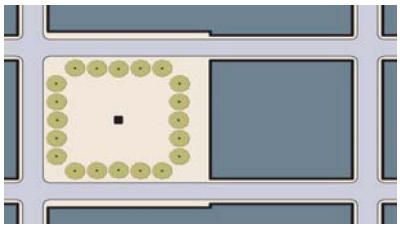
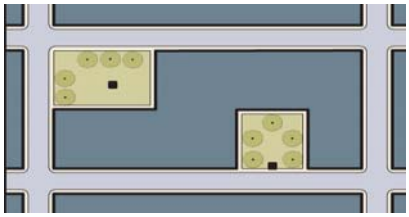
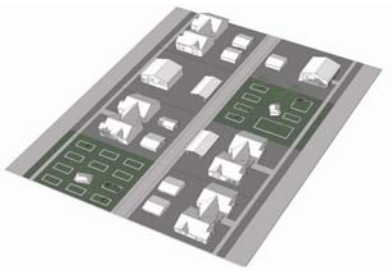
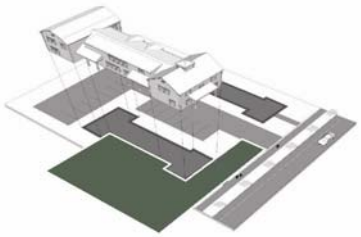
Individual property owners shall be required to dedicate 5% of their lot to civic or open space in one of the types identified in Figure 5 - Public and Private Open Space Types for residential lots, forecourts, courtyards, community/common gardens and private yards are eligible types of civic and open spaces. For commercial and mixed use lots, Outdoor Activity Zones located in the streetyard and sideyard setback areas are eligible types of civic and open spaces. Two or more property owners within a Merrick District may create a joint civic or open space as long as the dedicated space is accessible to the public and amounts to a minimum of 5% of the land area of all the properties involved.

7.4. Civic and Open Space Design

7.4.1 *General Standards* - Public and private open spaces shall be designed, landscaped, and furnished to be consistent with the character of the Subdistrict in which they are located. Street frontage arrangement of each type of civic space is illustrated in the Figure 5 - Public and Private Open Space Types below.

7.4.2 *Civic Buildings and Lots Standards* - Civic spaces and buildings shall be designed to physically express their prominence and community orientation. Civic Building Lots are usually sited adjoining or surrounded by civic open spaces or they provide a visual landmark by being placed at the axial termination of a street (see Public and Private Open Space Type diagrams in Figure 5 below). In order to provide greater flexibility in building types and to allow more distinctive architectural expression, Civic Building Lots do not have mandatory frontage percentages or street yard standards.

7.4.3 *Squares and Plazas Standards* – Squares and plazas shall be located so that building walls facing the open space shall have at least 25% of the overall façade in transparent windows, and at least 40% of the ground floor façade in transparent windows.

Figure 5 - Public and Private Open Space Types*	
Park: A natural preserve available for unstructured recreation. A park may be independent of surrounding building frontages. Its landscape shall consist of paths and trails, meadows, woodland, gardens, and open shelters, all naturalistically disposed. Parks in the Merrick District are likely to be lineal, following the natural corridor along the Connecticut River parallel to the Subdistricts. The liner park should connect to surrounding neighborhood and civic buildings.	
Common/Green: An open space, available for unstructured recreation. A green may be spatially defined by landscaping rather than building frontages. Its landscape shall consist of lawn and trees, naturalistically disposed.	
Square: An open space available for unstructured recreation and civic purposes. A square is spatially defined by building frontages. Its landscape shall consist of paths, lawns and trees, formally disposed. Squares shall be located at the intersection of important thoroughfares.	
Plaza: An open space, available for civic purposes and commercial activities. A plaza shall be spatially defined by building frontages. Its landscape shall consist primarily of pavement. Trees are optional. Plazas shall be located at the intersection of important streets.	
Playground: An open space designed and equipped for the recreation of children. A playground shall be fenced and may include an open shelter. Playgrounds shall be interspersed within residential areas and may be placed within a block. Playgrounds may be included within parks and greens. There shall be no minimum or maximum size.	
Community Garden: A grouping of garden plots available to nearby residents for small-scale cultivation.	
Private Yards and Open Space: Private open space and the configuration of other site features, such as parking, should be coordinated with adjacent properties to create shared access and larger open spaces whenever possible. For example, multi-family buildings can alternate open space and parking orientation to combine open space features and parking areas.	
** Images for Parks, Commons/Greens, Plaza, Square and Playground from the SmartCode Version 9.2; Images for Community Gardens and Private Yards and Open Space provided from the Town of Amherst, MA.*	